Grande Pines
Community Development District

Agenda

September 19, 2022

AGENDA

Grande Pines
Community Development District
REVISED Meeting Agenda

Monday
September 19, 2022
10:00 AM

Offices of GMS-CF, LLC
219 East Livingston Street
Orlando, Florida 32801

1. Roll Call
2. Public Comment Period
3. Approval of Minutes of the August 15, 2022 Meeting
4. Consideration of Resolution 2022-08 Approving the Conveyance of Real Property
5. **Consideration of Resolution 2022-09 Approving the Conveyance of Real Property and Infrastructure Improvements for Phase 1 - ADDED**
6. **Consideration of Resolution 2022-10 Approving the Conveyance of the Lift Station from Park square to CDD and then from CDD to Orange County - ADDED**
7. Staff Reports
    A. Attorney
    B. Engineer
    C. District Manager's Report
        i. Balance Sheet and Income Statement
        ii. Ratification of Requisitions 8-9
        iii. Ratification of Funding Request #34
8. Other Business
9. Supervisors Requests
10. Adjournment

MINUTES

MINUTES OF MEETING
GRANDE PINES
COMMUNITY DEVELOPMENT DISTRICT

The regular meeting of the Board of Supervisors of the Grande Pines Community Development District was held Monday, **August 15, 2022** at 10:00 a.m. at the Offices of GMS-CF, LLC at 219 East Livingston Street, Orlando, Florida.

Present and constituting a quorum:

Amanda Whitney	Chairman
Linda Kepfer	Vice Chairperson
Achal Aggarwal	Assistant Secretary

Also present were:

George Flint	District Manager, GMS
Jay Lazarovich	District Counsel
Christy Baxter *by phone*	District Engineer

FIRST ORDER OF BUSINESS **Roll Call**

Mr. Flint called the meeting to order and called the roll. Three Board members were present at the meeting constituting a quorum.

SECOND ORDER OF BUSINESS **Public Comment Period**

Mr. Flint: We just have Board and staff here.

THIRD ORDER OF BUSINESS **Organizational Matters**

A. Administration of Oath of Office to Newly Appointed Board Members (Randy Jones)

Mr. Flint: We need to administer the oath to Randy Jones during the next meeting that he attends. We can do that, or we can provide the oath and the notary can do the administrative portion if he wants to do it outside of a meeting.

FOURTH ORDER OF BUSINESS **Approval of Minutes of the July 18, 2022 Meeting**

Mr. Flint: Did the Board have any comments or corrections to the July 18, 2022 minutes? Hearing none,

> On MOTION by Ms. Whitney, , seconded by Ms. Aggarwal with all in favor, the Minutes of the July 18, 2022 Meeting, were approved.

FIFTH ORDER OF BUSNESS **Continued Public Hearing**

Mr. Flint: Is there a motion to open the public hearing?

> On MOTION by Ms. Whitney, seconded by Ms. Aggarwal, with all in favor, Opening the Public Hearing**,** was approved.

A. Consideration of Resolution 2022-05 Adopting the Fiscal Year 2023 Budget and Relating to the Annual Appropriations

Mr. Flint: There are no members of the public here to provide comment, so we will bring it back to the Board. You have two resolutions, Resolution 2022-05 which adopts the FY 2023 budget, and then you have Resolution 2022-06. The Board approved a proposed budget and the public hearing for last month, and the Board opened the hearing. The Board wanted some additional time to review the budget and continued the hearing to today. Attached to the resolution is the proposed budget. We have not made any changes to this from what you saw last month. I believe the desire was to move forward with it the way that it is currently structured. On the revenue side, Assessment Area 1 would be assessed and the platted lots within there would go on the tax roll November 1st, and then the platted portion of Assessment Area 1 would be direct billed. The budget that is included is a build-out budget, so we are balancing the expenses with a developer contribution. Likely, we won't need to submit any requests under that amount. We did have a meeting with the developer and the HOA to talk about responsibilities of the HOA and CDD, and we believe that the budget as currently structured accurately reflects that. There may need to be some adjustments to individual line items as we go forward, but we will use the estimates at this point.

> On MOTION by Ms. Whitney, seconded by Ms. Aggarwal, with all in favor, Resolution 2022-05 Adopting the Fiscal Year 2023 Budget and Relating to the Annual Appropriations, was approved.

B. Consideration of Resolution 2022-06 Imposing Special Assessments and Certifying an Assessment Roll

Mr. Flint: Next is Resolution 2022-06. Do we have a motion to approve the resolution?

> On MOTION by Ms. Whitney, seconded by Ms. Aggarwal, with all in favor, Resolution 2022-06 Imposing Special Assessments and Certifying an Assessment Roll, was approved.

Mr. Flint: Is there a motion to close the public hearing?

> On MOTION by Ms. Whitney, seconded by Ms. Aggarwal, with all in favor, Closing the Public Hearing**,** was approved.

SIXTH ORDER OF BUSNESS **Consideration of Resolution 2022-07 Approving the Conveyance of Parcel 11D Phase 1 and 2 – ADDED**

Mr. Lazarovich: This resolution approves the conveyance from Park Square to the District, and then from the District to Orange County. It is for the infrastructure improvements. Before you there are three bills of sales. One is from Park Square to the CDD, and that includes Phase 1 and 2. For the county, it is two separate bills of sales for each phase. There is also an agreement regarding taxes and an owner's affidavit, which are contracts between the developer and the District, basically stating that there are no outstanding taxes or encumbrances that would hinder the District's ability to hold the property and transfer it, as well as the certificate of the District Engineer, which just states that it is in line with the original plan. We are just looking for a motion to approve in substantial form.

> On MOTION by Ms. Whitney, seconded by Ms. Aggarwal, with all in favor, Resolution 2022-07 Approving the Conveyance of Parcel 11D Phase 1 and 2**,** was approved in substantial form.

SEVENTH ORDER OF BUSINESS Staff Reports

A. Attorney

Mr. Flint: Anything else, Jay?

Mr. Lazarovich: We spoke with the Engineer and the roads in Phase 1 should be ready to be transferred, we are just waiting on signoff for Phase 2. So once we get that, that'll be the next conveyance that we work on.

B. Engineer

Mr. Flint: Christy, anything from the engineer?

Ms. Baxter: I don't have any official items today, thank you.

C. District Manager's Report

i. Balance Sheet and Income Statement

Mr. Flint: We have the unaudited balance sheet and income statements through July 31st in your agenda. There is no action required by the Board, but if you have any questions, we can discuss those. We do have $5.8 million in the construction account. Christy, where are we with being held with the requisition of funds.

Ms. Baxter: I have the requisition ready for Phase 1, meaning the bill of sales. You guys approved our part of that documentation package, so once those are signed, I'll add those and what we should be using in the requisition this week for Phase 1, and then we are starting to prepare the requisition for the Phase 2 construction costs.

Mr. Flint: What was the amount of the Phase 1 do you recall?

Ms. Baxter: It is a little over $2.1 million.

Mr. Flint: As soon as you are ready, you can get that over to me and we can work on getting it executed and to the trustee.

ii. Ratification of FY21 Funding Requests #33

Mr. Flint: This is for Board pay, District management, and some District counsel work. It totals $4,712.28.

On MOTION by Ms. Whitney, seconded by Ms. Aggarwal, with all in favor, the FY21 Funding Requests #33, was ratified.

EIGHTH ORDER OF BUSINESS **Other Business**

There being none, the next item followed.

NINTH ORDER OF BUSINESS **Supervisors Requests**

There being none, the next item followed.

TENTH ORDER OF BUSINESS **Adjournment**

Mr. Flint adjourned the meeting.

On MOTION by Ms. Whitney, seconded by Ms. Aggarwal, with all in favor, the meeting was adjourned.

_____ _____

Secretary/Assistant Secretary Chairman/Vice Chairman

SECTION IV

RESOLUTION 2022-08

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT APPROVING THE CONVEYANCE OF REAL PROPERTY FROM PARK SQUARE GRANDE PINES, LLC AND PARADISO GRANDE PROPERTY OWNERS ASSOCIATION, INC. TO THE DISTRICT; AUTHORIZING DISTRICT STAFF AND THE CHAIRMAN TO REVIEW, EXECUTE AND ACCEPT ALL DOCUMENTS TO EFFECTUATE SUCH CONVEYANCE; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the Grande Pines Community Development District (the "District") is a local unit of special purpose government duly organized and existing under the provisions of the Uniform Community Development District Act of 1980, Chapter 190, *Florida Statutes*, as amended (the "Act"), for the purpose of, among other things, financing and managing the acquisition, construction, maintenance and operation of certain infrastructure within and without the boundaries of the premises to be governed by the District; and

WHEREAS, the District has the authority, generally under the Act, and specifically under Section 190.012, *Florida Statutes*, to acquire real property and improvements for, among other things, the purposes of operating and maintaining systems, facilities, and basic infrastructure within the District; and

WHEREAS, the District has the authority, generally under Florida Law and the Act, and specifically under Section 190.011(7)(a), *Florida Statutes*, to acquire, dispose of any real property, dedications or platted reservations in any manner so long as it is in the best interest of the District; and

WHEREAS, Park Square Grande Pines, LLC, a Florida limited liability company (hereinafter "Park Square") and Paradiso Grande Property Owners Association, Inc., a Florida Not For Profit Corporation (hereinafter "Paradiso Grande"), have requested the approval and transfer by the District of certain parcels of real property, as more particularly described in the Special Warranty Deed, Quitclaim Deed, Agreements Regarding Taxes, Owner's Affidavits and Certificate of District Engineer, attached hereto as **Exhibit "A"** (the "Conveyance Documents"), from Park Square to the District and from Paradiso Grande to the District; and

WHEREAS, the District Counsel and the District Manager have reviewed the conveyances from Park Square and Paradiso Grande, and the District Engineer has also reviewed the conveyances and has provided a Certificate of District Engineer for the conveyance, attached hereto as part of **Exhibit "A,"** to evidence compliance with the requirements of the District for accepting the conveyances.

NOW, THEREFORE, BE IT RESOLVED by the Board of Supervisors of the District (the "Board"), as follows:

1. Incorporation of Recitals. The above recitals so stated are true and correct and by this reference are incorporated into and form a material part of this Resolution.

2. Approval of Acquisition and Transfer of the Real Property. The Board hereby approves the transfer and acceptance of the real property described in **Exhibit "A,"** to the District, and approves and accepts the documents evidencing such conveyances in **Exhibit "A."**

3. Authorization of District Staff. The Chairman, the Vice Chairman, the Secretary, any Assistant Secretary and the District Manager of the District, and any authorized designee thereof (collectively, the "District Officers"), District Counsel, and the District Engineer are hereby authorized and directed to take all actions necessary or desirable in connection with the conveyance of the real property described in **Exhibit "A,"** and all transactions in connection therewith. The District Officers are hereby authorized and directed to execute all necessary or desirable certificates, documents, papers, and agreements necessary to the undertaking and fulfillment of all transactions contemplated by this Resolution.

4. Ratification of Prior Actions. All actions taken to date by the District Officers, District Manager, District Counsel, District Engineer, are hereby ratified and authorized on behalf of the District.

5. Severability. If any section, paragraph, clause or provision of this Resolution shall be held to be invalid or ineffective for any reason, the remainder of this Resolution shall continue in full force and effect, it being expressly hereby found and declared that the remainder of this Resolution would have been adopted despite the invalidity or ineffectiveness of such section, paragraph, clause or provision.

6. Effective Date. This Resolution shall take effect immediately upon its adoption.

[Continues on the Following Pages]

PASSED in public meeting of the Board of Supervisors of the Grande Pines Community Development District, this 19th day of September, 2022.

GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT

Attest:

_____
Print: _____
Secretary/Asst. Secretary

By: _____
Name: _____
Title: _____

EXHIBIT "A"

CONVEYANCE DOCUMENTS

1. Special Warranty Deed between Park Square Grande Pines, LLC and the Grande Pines Community Development District;
2. Quitclaim Deed between Paradiso Grande Property Owners Association, Inc. and the Grande Pines Community Development District;
3. Owner's Affidavit by Park Square Grande Pines, LLC;
4. Owner's Affidavit by Paradiso Grande Property Owners Association, Inc.;
5. Agreement Regarding Taxes by Park Square Grande Pines, LLC;
6. Agreement Regarding Taxes by Paradiso Grande Property Owners Association, Inc.;
7. Certificate of District Engineer

THIS INSTRUMENT PREPARED BY
AND TO BE RETURNED TO:
Jan Albanese Carpenter, Esq.
Latham, Luna, Eden & Beaudine, LLP
P.O. Box 3353
Orlando, Florida 32802

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made this ___ day of _____, 2022 between the **PARK SQUARE GRANDE PINES, LLC**, a Florida limited liability company, having an address at 5200 Vineland Road, Suite 200, Orlando, Florida 32811 (the "Grantor"), and the **GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT**, a Florida community development district, having an address at c/o Governmental Management Services - Central Florida, LLC, 219 East Livingston Street, Orlando, Florida 32801 (hereinafter the "Grantee").

WITNESSETH:

GRANTOR, for and in consideration of the sum of Ten and no/100 Dollars ($10.00) and other good and valuable consideration to Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, hereby grant, convey, bargain, and sell to the said Grantee, and Grantee's successors and assigns forever, the following described property, situate, lying and being in Orange County, Florida, to-wit (the "Property"):

See attached Exhibit "A" incorporated herein by reference.

TOGETHER WITH all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

GRANTOR does hereby covenant with and warrant to Grantee that the Grantor is lawfully seized of the Property in fee simple; that the Grantor has good right and lawful authority to sell and convey the Property; and that the Grantor hereby warrants that title to the land is free from all encumbrances except for restrictions, covenants, conditions, easements and other matters of record (provided, however, that reference thereto shall not serve to re-impose same), and taxes for the year 2022 and subsequent years, and that the Grantor will defend title to the land against the lawful claims of all persons claiming by, through or under Grantor, but against none other.

NOTE TO RECORDER: This deed is a conveyance of unencumbered property for no consideration and is exempt from documentary stamp tax pursuant to Florida Administrative Code Rule 12B-4.014(2)(b). Minimum documentary stamp tax of $0.70 is being paid herein.

IN WITNESS WHEREOF, the said Grantor has duly caused the execution of this Special Warranty Deed as of the date set forth above.

WITNESSES:

By: PARK SQUARE GRANDE PINES, LLC
a Florida limited liability company

_____

Print Name: _____

By:_____
Printed: _____
Title: _____

_____

Print Name: _____

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me by means of [ ] physical presence or [ ] online notarization this ____ day of _____, 2022, by _____ as _____ of Park Square Grande Pines, LLC, a Florida limited liability company, on behalf of said entity. Said person is [ ] personally known to me or [ ] has produced a valid driver's license as identification.

_____
Notary Public

Print Name:_____

My Commission expires: _____

My Commission No.: _____

EXHIBIT "A"

(Legal Description)

Tract OS-1, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

Tract OS-2, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

Tract OS-3, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

THIS INSTRUMENT PREPARED BY
AND TO BE RETURNED TO:
Jan Albanese Carpenter, Esq.
Latham, Luna, Eden & Beaudine, LLP
P.O. Box 3353
Orlando, Florida 32802

QUITCLAIM DEED

THIS QUITCLAIM DEED is made this ___ day of _____, 2022 between the **PARADISO GRANDE PROPERTY OWNERS ASSOCIATION, INC**, a Florida Not For Profit Corporation, having an address at 5200 Vineland Road, Suite 200, Orlando, Florida 32811 (the "Grantor"), and the **GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT**, a Florida community development district, having an address at c/o Governmental Management Services - Central Florida, LLC, 219 East Livingston Street, Orlando, Florida 32801 (hereinafter the "Grantee").

WITNESSETH:

GRANTOR, for and in consideration of the sum of Ten and no/100 Dollars ($10.00) and other good and valuable consideration to Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, hereby grant, convey, bargain, and sell to the said Grantee, and Grantee's successors and assigns forever, the following described property, situate, lying and being in Orange County, Florida, to-wit (the "Property"):

See attached Exhibit "A" incorporated herein by reference.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title interest, lien, equity and claim whatsoever of grantors, either in law or equity, for the use, benefit and profit of the said Grantee forever, and Grantor does hereby covenant that it has not conveyed, transferred or granted a lien in or on the Property to any third party.

NOTE TO RECORDER: This deed is a conveyance of unencumbered property for no consideration and is exempt from documentary stamp tax pursuant to Florida Administrative Code Rule 12B-4.014(2)(b). Minimum documentary stamp tax of $0.70 is being paid herein.

IN WITNESS WHEREOF, the said Grantor has duly caused the execution of this Quitclaim Deed as of the date set forth above.

WITNESSES:

By: PARADISO GRANDE PROPERTY OWNERS ASSOCIATION, INC. a Florida Not For Profit Corporation

_____

Print Name: _____

By:_____
Printed: _____
Title: _____

_____

Print Name: _____

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me by means of [ ] physical presence or [ ] online notarization this ____ day of _____, 2022, by _____ as _____ of Paradiso Grande Property Owners Association, Inc., a Florida Not For Profit Corporation, on behalf of said entity. Said person is [ ] personally known to me or [ ] has produced a valid driver's license as identification.

_____
Notary Public

Print Name:_____

My Commission expires: _____

My Commission No.: _____

EXHIBIT "A"

(Legal Description)

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Tract OS-2, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

Tract OS-3, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

OWNER'S AFFIDAVIT
Grande Pines Community Development District
(Paradiso Grande Phase 2 (OS-1, OS-2, OS-3))

STATE OF FLORIDA
COUNTY OF ORANGE

BEFORE ME, the undersigned authority, personally appeared _____ ("Affiant") as an Authorized Agent of Park Square Grande Pines, LLC, a Florida limited liability company, authorized to do business in Florida, whose principal address is 5200 Vineland Road, Suite 200, Orlando, Florida 32811 (the "Owner"), who being first duly sworn on oath says:

1. That Affiant knows of his own knowledge that the Owner is the owner of certain real property (the "Property") located in Orange County, Florida, as more particularly described in Exhibit "A" attached hereto, and that Affiant is an Authorized Agent of the Owner, is making this Affidavit in that capacity only, and that no recourse shall be made against Affiant individually.

2. That the Property, as described in the Special Warranty Deed, dated as of the date hereof, are free and clear of all liens and encumbrances except for those encumbrances and matters affecting title set forth in the plat of Paradiso Grande Phase 2, as recorded in Plat Book 108, Page 66, of the Official Records of Orange County, Florida (collectively, the "Plat").

3. That Affiant knows of no facts by reason of which the title to, or possession of, the Property might be disputed or questioned, or by reason of which any claim to any part of the Property might be asserted adversely to Owner.

4. That there have been no liens filed against the Property as a result of any labor, materials, equipment or other work authorized by Owner, its employees, or agents or of which Owner has actual knowledge, nor any unpaid bills of any nature as a result of any labor, materials, equipment or other work authorized by Owner, its employees, or agents or of which Owner has actual knowledge either for services of any architect, engineer, or surveyor, or for labor or material that may have been placed on the Property, either in the construction or repair of the Property, or otherwise in connection with the Property which bills may have been incurred during the last ninety (90) days.

5. That no proceedings in bankruptcy or receivership have ever been instituted by or against the Owner, nor has Owner ever made an assignment for the benefit of its creditors.

6. That Affiant knows of no action or proceeding relating to the Property which is now pending in any state or federal court in the United States affecting the Property, nor does Affiant know of any state or federal judgment or any federal lien of any kind or nature that now constitutes a lien or charge upon the Property.

7. Affiant knows of no special assessments or taxes which are not shown as existing liens by the public records.

8. That this Affidavit is given for the purposes of inducing the Grande Pines Community Development District (the "District"), a Florida community development district and local unit of special-purpose government, to accept the Owner's conveyance of the Property to the District.

9. That there are no matters pending against Owner that could give rise to any lien(s) that could attach to the Property between the effective date of the Plat and the effective date of the Special Warranty Deed for this conveyance, and that Affiant shall not execute nor permit the execution or recording of any instruments that would adversely affect ownership of the Property.

10. Section 1445 of the Internal Revenue Code provides that a transferee of a U.S. real property interest must withhold tax if the transferor is a foreign person. To inform the District and Latham, Luna, Eden & Beaudine, LLP ("LLEB"), that withholding of tax is not required upon the disposition of a U.S. real property interest by Owner, Owner hereby swears, affirms and certifies the following to District and LLEB that Owner: (i) is not a foreign person, foreign corporation, foreign partnership, foreign trust or foreign estate (as those terms are defined in the Internal Revenue Code and Income Tax Regulations); (ii) is not a disregarded entity as defined in Section 1.1445-2(b)(2)(iii); (iii) is not a non-resident alien (as such term is defined in the Internal Revenue Code and Income Tax Regulations) for the purposes of U.S. income taxation; (iv) has an EIN/Federal Tax Identification Number of _____; (v) has a mailing address of 5200 Vineland Road, Suite 200, Orlando, Florida 32811. Affiant understands that this certification may be disclosed to the Internal Revenue Service by Transferee and that any false statement contained herein could be punished by fine, imprisonment, or both. Affiant understands that Buyer and LLEB are relying on this certification in determining whether withholding is required upon said transfer.

11. That Affiant is familiar with the nature of an oath and with the penalties as provided by the laws of the State of Florida for falsely swearing to statements made in an instrument of this nature. Affiant further certifies that he has read the full facts set forth in this Affidavit and understands its content and context to be correct in all respects.

[SIGNATURES ON FOLLOWING PAGE]

FURTHER AFFIANT SAYETH NAUGHT.

DATED: _____, **2022**

Signed, sealed and delivered in our presence:

_____
(Signature)

_____
(Print Name)

_____
(Signature)

_____
(Print Name)

PARK SQUARE GRANDE PINES, LLC,
a Florida limited liability company

By:_____

Print:_____

Title:_____

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me by means of [ ] physical presence or [ ] online notarization, this _____ day of _____, 2022, by _____, as _____ of Park Square Grande Pines, LLC, a Florida limited liability company, on behalf of the limited liability company. Said person is [ ] personally known to me or [ ] has produced _____ as identification.

(SEAL)

_____
Notary Public; State of Florida
Print Name: _____
Comm. Exp.: _____; Comm. No.: _____

EXHIBIT "A"

(Legal Description)

Tract OS-1, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

Tract OS-2, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

Tract OS-3, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

OWNER'S AFFIDAVIT
Grande Pines Community Development District
(Paradiso Grande Phase 2 (OS-1, OS-2, OS-3))

STATE OF FLORIDA
COUNTY OF ORANGE

BEFORE ME, the undersigned authority, personally appeared _____ ("Affiant") as an Authorized Agent of Paradiso Grande Property Owners Association, Inc., a Florida Not For Profit Corporation, authorized to do business in Florida, whose principal address is 5200 Vineland Road, Suite 200, Orlando, Florida 32811 (the "Owner"), who being first duly sworn on oath says:

1. That Affiant knows of his own knowledge that the Owner is the owner of certain real property (the "Property") located in Orange County, Florida, as more particularly described in Exhibit "A" attached hereto, and that Affiant is an Authorized Agent of the Owner, is making this Affidavit in that capacity only, and that no recourse shall be made against Affiant individually.

2. That the Property, as described in the Quitclaim Deed, dated as of the date hereof, are free and clear of all liens and encumbrances except for those encumbrances and matters affecting title set forth in the plat of Paradiso Grande Phase 2, as recorded in Plat Book 108, Page 66, of the Official Records of Orange County, Florida (collectively, the "Plat").

3. That Affiant knows of no facts by reason of which the title to, or possession of, the Property might be disputed or questioned, or by reason of which any claim to any part of the Property might be asserted adversely to Owner.

4. That there have been no liens filed against the Property as a result of any labor, materials, equipment or other work authorized by Owner, its employees, or agents or of which Owner has actual knowledge, nor any unpaid bills of any nature as a result of any labor, materials, equipment or other work authorized by Owner, its employees, or agents or of which Owner has actual knowledge either for services of any architect, engineer, or surveyor, or for labor or material that may have been placed on the Property, either in the construction or repair of the Property, or otherwise in connection with the Property which bills may have been incurred during the last ninety (90) days.

5. That no proceedings in bankruptcy or receivership have ever been instituted by or against the Owner, nor has Owner ever made an assignment for the benefit of its creditors.

6. That Affiant knows of no action or proceeding relating to the Property which is now pending in any state or federal court in the United States affecting the Property, nor does Affiant know of any state or federal judgment or any federal lien of any kind or nature that now constitutes a lien or charge upon the Property.

7. Affiant knows of no special assessments or taxes which are not shown as existing liens by the public records.

8. That this Affidavit is given for the purposes of inducing the Grande Pines Community Development District (the "District"), a Florida community development district and local unit of special-purpose government, to accept the Owner's conveyance of the Property to the District.

9. That there are no matters pending against Owner that could give rise to any lien(s) that could attach to the Property between the effective date of the Plat and the effective date of the Quitclaim Deed for this conveyance, and that Affiant shall not execute nor permit the execution or recording of any instruments that would adversely affect ownership of the Property.

10. Section 1445 of the Internal Revenue Code provides that a transferee of a U.S. real property interest must withhold tax if the transferor is a foreign person. To inform the District and Latham, Luna, Eden & Beaudine, LLP ("LLEB"), that withholding of tax is not required upon the disposition of a U.S. real property interest by Owner, Owner hereby swears, affirms and certifies the following to District and LLEB that Owner: (i) is not a foreign person, foreign corporation, foreign partnership, foreign trust or foreign estate (as those terms are defined in the Internal Revenue Code and Income Tax Regulations); (ii) is not a disregarded entity as defined in Section 1.1445-2(b)(2)(iii); (iii) is not a non-resident alien (as such term is defined in the Internal Revenue Code and Income Tax Regulations) for the purposes of U.S. income taxation; (iv) has an EIN/Federal Tax Identification Number of _____; (v) has a mailing address of 5200 Vineland Road, Suite 200, Orlando, Florida 32811. Affiant understands that this certification may be disclosed to the Internal Revenue Service by Transferee and that any false statement contained herein could be punished by fine, imprisonment, or both. Affiant understands that Buyer and LLEB are relying on this certification in determining whether withholding is required upon said transfer.

11. That Affiant is familiar with the nature of an oath and with the penalties as provided by the laws of the State of Florida for falsely swearing to statements made in an instrument of this nature. Affiant further certifies that he has read the full facts set forth in this Affidavit and understands its content and context to be correct in all respects.

[SIGNATURES ON FOLLOWING PAGE]

FURTHER AFFIANT SAYETH NAUGHT.

DATED: _____, **2022**

Signed, sealed and delivered in our presence:

_____
(Signature)

_____
(Print Name)

_____
(Signature)

_____
(Print Name)

PARADISO GRANDE PROPERTY OWNERS ASSOCIATION, INC.,
a Florida Not For Profit Corporation

By:_____

Print:_____

Title:_____

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me by means of [ ] physical presence or [ ] online notarization, this _____ day of _____, 2022, by _____, as _____ of Paradiso Grande Property Owners Association, Inc., a Florida Not For Profit Corporation, on behalf of the Not For Profit Corporation. Said person is [ ] personally known to me or [ ] has produced _____ as identification.

(SEAL)

_____
Notary Public; State of Florida
Print Name: _____
Comm. Exp.: _____; Comm. No.: _____

EXHIBIT "A"

(Legal Description)

Tract OS-1, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

Tract OS-2, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

Tract OS-3, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

AGREEMENT REGARDING TAXES
Grande Pines Community Development District
(Paradiso Grande Phase 2 (OS-1, OS-2, OS-3))

THIS AGREEMENT REGARDING TAXES ("Agreement") is entered into this ____ day of _____, 2022, by and between **PARK SQUARE GRANDE PINES, LLC**, a Florida limited liability company, whose address is 5200 Vineland Road, Suite 200, Orlando, Florida 32811 ("Developer"), and **GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT**, a Florida community development district, whose address is c/o Governmental Management Services – Central Florida, LLC, 219 E. Livingston Street, Orlando, Florida 32801 (the "District").

WITNESSETH

WHEREAS, Developer is the owner and developer of certain real property located within the boundaries of the District, as such property is described on Exhibit "A" attached hereto and incorporated herein by reference (the "Property"); and

WHEREAS, the District is a Florida community development district and local unit of special-purpose government created pursuant to Chapter 190, *Florida Statutes*; and

WHEREAS, as part of the ongoing development activities within the boundaries of the District, Developer has, simultaneously with the execution of this Agreement, conveyed the Property to the District by Warranty Deed; and

WHEREAS, all or a substantial portion of real property already owned by the District is either exempt from ad-valorem taxes or has been given a minimal valuation by the Orange County Property Appraiser because of the District's status as a governmental entity; and

WHEREAS, in conjunction with the conveyance of the Property from Developer to District, Developer and District are desirous of setting forth in this Agreement their respective responsibilities with regard to applicable ad-valorem taxes and assessments.

NOW, THEREFORE, in consideration of the sum of Ten and 00/100 Dollars ($10.00) and other valuable considerations, paid by each party to the other, the receipt and sufficiency of which is hereby acknowledged, and in further consideration of the mutual covenants and conditions contained herein, the parties hereto agree as follows:

1. The above recitals are true and correct and are incorporated herein by reference.

2. Developer hereby represents that all ad-valorem taxes and assessments relating to the Property, or any portion thereof, for tax year 2021 and all prior years have been paid in full.

3. Developer hereby agrees to pay in full, and prior to their becoming delinquent, any and all ad-valorem taxes and assessments, if any, levied on the Property for the tax year 2022.

4. Subsequent to the District's acceptance of the Property, and only in the event the Property are not conveyed to another governmental entity, the District shall endeavor to either obtain an exemption from ad-valorem taxes pertaining to the Property, as applicable, or in the alternative, shall seek a minimal valuation of the Property, from the Orange County Property Appraiser, as applicable, and subsequent to tax year 2022, Developer shall have no further responsibility with regard to ad-valorem taxes or assessments levied against the Property, as applicable.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed on their behalf by their duly authorized representatives, all as of the date first set forth above.

WITNESSES:

X _____

Print: _____

X _____

Print: _____

PARK SQUARE GRANDE PINES, LLC, a Florida limited liability company

By: _____

Print: _____

Title: _____

GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT, a Florida community development district

ATTEST:

X _____

Print: _____
Secretary/Asst. Secretary

By: _____

Print: _____

Title: _____

EXHIBIT "A"

(Legal Description)

Tract OS-1, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

Tract OS-2, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

Tract OS-3, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

AGREEMENT REGARDING TAXES
Grande Pines Community Development District
(Paradiso Grande Phase 2 (OS-1, OS-2, OS-3))

THIS AGREEMENT REGARDING TAXES ("Agreement") is entered into this ____ day of _____, 2022, by and between **PARADISO GRANDE PROPERTY OWNERS ASSOCIATION, INC.**, a Florida Not For Profit Corporation, whose address is 5200 Vineland Road, Suite 200, Orlando, Florida 32811 ("Association"), and **GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT**, a Florida community development district, whose address is c/o Governmental Management Services – Central Florida, LLC, 219 E. Livingston Street, Orlando, Florida 32801 (the "District").

WITNESSETH

WHEREAS, Association is the owner of certain real property located within the boundaries of the District, as such property is described on Exhibit "A" attached hereto and incorporated herein by reference (the "Property"); and

WHEREAS, the District is a Florida community development district and local unit of special-purpose government created pursuant to Chapter 190, *Florida Statutes*; and

WHEREAS, as part of the ongoing development activities within the boundaries of the District, Association has, simultaneously with the execution of this Agreement, conveyed the Property to the District by Quitclaim Deed; and

WHEREAS, all or a substantial portion of real property already owned by the District is either exempt from ad-valorem taxes or has been given a minimal valuation by the Orange County Property Appraiser because of the District's status as a governmental entity; and

WHEREAS, in conjunction with the conveyance of the Property from Association to District, Association and District are desirous of setting forth in this Agreement their respective responsibilities with regard to applicable ad-valorem taxes and assessments.

NOW, THEREFORE, in consideration of the sum of Ten and 00/100 Dollars ($10.00) and other valuable considerations, paid by each party to the other, the receipt and sufficiency of which is hereby acknowledged, and in further consideration of the mutual covenants and conditions contained herein, the parties hereto agree as follows:

1. The above recitals are true and correct and are incorporated herein by reference.

2. Association hereby represents that all ad-valorem taxes and assessments relating to the Property, or any portion thereof, for tax year 2021 and all prior years have been paid in full.

3. Association hereby agrees to pay in full, and prior to their becoming delinquent, any and all ad-valorem taxes and assessments, if any, levied on the Property for the tax year 2022.

4. Subsequent to the District's acceptance of the Property, and only in the event the Property are not conveyed to another governmental entity, the District shall endeavor to either obtain an exemption from ad-valorem taxes pertaining to the Property, as applicable, or in the alternative, shall seek a minimal valuation of the Property, from the Orange County Property Appraiser, as applicable, and subsequent to tax year 2022, Developer shall have no further responsibility with regard to ad-valorem taxes or assessments levied against the Property, as applicable.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed on their behalf by their duly authorized representatives, all as of the date first set forth above.

WITNESSES:

X _____

Print: _____

X _____

Print: _____

PARADISO GRANDE PROPERTY OWNERS ASSOCIATION, INC., a Florida Not For Profit Corporation

By: _____

Print: _____

Title: _____

GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT,
a Florida community development district

ATTEST:

X _____

Print: _____
Secretary/Asst. Secretary

By: _____

Print: _____

Title: _____

EXHIBIT "A"

(Legal Description)

Tract OS-1, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

Tract OS-2, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

Tract OS-3, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

CERTIFICATE OF DISTRICT ENGINEER
Grande Pines Community Development District
(Paradiso Grande Phase 2 (OS-1, OS-2, OS-3))

I, **Christina Baxter, P.E.** of **Poulos & Bennett, LLC**, a Florida limited liability company, authorized to transact business in Florida, and licensed to provide professional engineering services to the public in the State of Florida under Florida Certificate of Authorization No. 67547, with offices located at 2602 E. Livingston Street, Orlando, Florida 32803 ("Poulos"), hereby acknowledge and certify the following, to the best of my knowledge, information and belief, to be true and correct in all respects:

1. That I, through Poulos, currently serve as District Engineer to the Grande Pines Community Development District (the "District").

2. That the District proposes to accept from **Park Square Grande Pines, LLC**, a Delaware limited liability company ("Developer") and **Paradiso Grande Property Owners Association, Inc.** a Florida Not For Profit Corporation ("Association") for ownership, operation and maintenance, certain real property described in Exhibit "A" attached hereto and incorporated herein by reference (collectively, the "Property"), described in Exhibit "A" attached hereto and incorporated herein by reference. Any Property being conveyed to the District is being transferred at only nominal cost to the District; therefore no review of an appraisal or similar documentation to reasonableness of purchase price or other valuation is required or being rendered.

3. That this certification (the "Certification") is provided in conjunction with, and in support of, the District's approval of the conveyance of the Property from the Developer and the Association to the District. The District will rely on this Certification for such purposes.

4. That the Property was incorrectly dedicated to the Association in the plat of Paradiso Grande Phase 2, as recorded in Plat Book 108, Page 66, of the Official Records of Orange County, Florida (collectively, the "Plat"). The Property should not have been conveyed to the Association and I concur that the Property conveyance should be corrected.

5. That the Property was constructed, installed, and/or completed, as appropriate, in accordance with known plans, specifications, contracts and permits required and/or approved by the appropriate governmental authorities, as applicable. The Property is in a condition acceptable for acceptance by the District.

SIGNATURE PAGE TO CERTIFICATE OF DISTRICT ENGINEER
Grande Pines Community Development District
(Paradiso Grande Phase 2 (OS-1, OS-2, OS-3))

DATED: _____, 2022

Witness: _____
Print: _____

_____
Christina Baxter, P.E.
State of Florida License No.: **67547**
on behalf of the company,
Poulos & Bennett, LLC

Witness: _____
Print: _____

STATE OF FLORIDA
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me by means of [ ] physical presence or [ ] online notarization, this _____ day of _____, 2022 by **CHRISTINA BAXTER** of Poulos & Bennett, LLC, a Florida limited liability company authorized to transact business in Florida, on behalf of said corporation. Said person is [ ] personally known to me or [ ] has produced a valid driver's license as identification.

_____
Notary Public; State of Florida

(SEAL)

Print Name: _____
Comm. Exp.: _____
Comm. No.: _____

EXHIBIT "A"

(Legal Description)

Tract OS-1, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

Tract OS-2, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

Tract OS-3, according to the Paradiso Grande Phase 2 plat, as recorded in Plat Book 108, Page 66, Public Records of Orange County, Florida.

SECTION V

RESOLUTION 2022-09

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT APPROVING THE CONVEYANCE OF REAL PROPERTY AND INFRASTRUCTURE IMPROVEMENTS FROM PARK SQUARE GRANDE PINES, LLC TO THE DISTRICT; AUTHORIZING DISTRICT STAFF AND THE CHAIRMAN TO REVIEW, EXECUTE AND ACCEPT ALL DOCUMENTS TO EFFECTUATE SUCH CONVEYANCE; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the Grande Pines Community Development District (the "District") is a local unit of special purpose government duly organized and existing under the provisions of the Uniform Community Development District Act of 1980, Chapter 190, *Florida Statutes*, as amended (the "Act"), for the purpose of, among other things, financing and managing the acquisition, construction, maintenance and operation of certain infrastructure within and without the boundaries of the premises to be governed by the District; and

WHEREAS, the District has the authority, generally under the Act, and specifically under Section 190.012, *Florida Statutes*, to acquire real property and improvements for, among other things, the purposes of operating and maintaining systems, facilities, and basic infrastructure within the District; and

WHEREAS, the District has the authority, generally under Florida Law and the Act, and specifically under Section 190.011(7)(a), *Florida Statutes*, to acquire, dispose of any real property, dedications or platted reservations in any manner so long as it is in the best interest of the District; and

WHEREAS, Park Square Grande Pines, LLC, a Florida limited liability company (hereinafter "Park Square"), has requested the approval and transfer by the District of real property and infrastructure improvements, as more particularly described in the Special Warranty Deed, Bill of Sale Absolute and Agreement, Agreement Regarding Taxes, Owner's Affidavit and Certificate of District Engineer, attached hereto as **Exhibit "A"** (the "Conveyance Documents"), from Park Square to the District; and

WHEREAS, the District Counsel and the District Manager have reviewed the conveyances from Park Square, and the District Engineer has also reviewed the conveyances and has provided a Certificate of District Engineer, attached hereto as part of **Exhibit "A,"** to evidence compliance with the requirements of the District for accepting the conveyances.

NOW, THEREFORE, BE IT RESOLVED by the Board of Supervisors of the District (the "Board"), as follows:

1. Incorporation of Recitals. The above recitals so stated are true and correct and by this reference are incorporated into and form a material part of this Resolution.

2. Approval of Acquisition and Transfer of the Real Property and Improvements. The Board hereby approves the transfer and acceptance of the real property and infrastructure improvements described in **Exhibit "A,"** to the District, and approves and accepts the documents evidencing such conveyances in **Exhibit "A."**

3. Authorization of District Staff. The Chairman, the Vice Chairman, the Secretary, any Assistant Secretary and the District Manager of the District, and any authorized designee thereof (collectively, the "District Officers"), District Counsel, and the District Engineer are hereby authorized and directed to take all actions necessary or desirable in connection with the conveyance of the real property and improvements described in **Exhibit "A,"** and all transactions in connection therewith. The District Officers are hereby authorized and directed to execute all necessary or desirable certificates, documents, papers, and agreements necessary to the undertaking and fulfillment of all transactions contemplated by this Resolution.

4. Ratification of Prior Actions. All actions taken to date by the District Officers, District Manager, District Counsel, District Engineer, are hereby ratified and authorized on behalf of the District.

5. Severability. If any section, paragraph, clause or provision of this Resolution shall be held to be invalid or ineffective for any reason, the remainder of this Resolution shall continue in full force and effect, it being expressly hereby found and declared that the remainder of this Resolution would have been adopted despite the invalidity or ineffectiveness of such section, paragraph, clause or provision.

6. Effective Date. This Resolution shall take effect immediately upon its adoption.

[Continues on the Following Pages]

PASSED in public meeting of the Board of Supervisors of the Grande Pines Community Development District, this 19th day of September, 2022.

GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT

Attest:

_____
Print: _____
Secretary/Asst. Secretary

By: _____
Name: _____
Title: _____

EXHIBIT "A"

CONVEYANCE DOCUMENTS

1. Special Warranty Deed between Park Square Grande Pines, LLC and the Grande Pines Community Development District;
2. Bill of Sale Absolute and Agreement between the Park Square Grande Pines, LLC and the Grande Pines Community Development District;
3. Owner's Affidavit;
4. Agreement Regarding Taxes;
5. Certificate of District Engineer

THIS INSTRUMENT PREPARED BY
AND TO BE RETURNED TO:
Jan Albanese Carpenter, Esq.
Latham, Luna, Eden & Beaudine, LLP
P.O. Box 3353
Orlando, Florida 32802

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made this ___ day of _____, 2022 between the **PARK SQUARE GRANDE PINES, LLC**, a Florida limited liability company, having an address at 5200 Vineland Road, Suite 200, Orlando, Florida 32811 (the "Grantor"), and the **GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT**, a Florida community development district, having an address at c/o Governmental Management Services - Central Florida, LLC, 219 East Livingston Street, Orlando, Florida 32801 (hereinafter the "Grantee").

WITNESSETH:

GRANTOR, for and in consideration of the sum of Ten and no/100 Dollars ($10.00) and other good and valuable consideration to Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, hereby grant, convey, bargain, and sell to the said Grantee, and Grantee's successors and assigns forever, the following described property, situate, lying and being in Orange County, Florida, to-wit (the "Property"):

See attached Exhibit "A" incorporated herein by reference.

TOGETHER WITH all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

GRANTOR does hereby covenant with and warrant to Grantee that the Grantor is lawfully seized of the Property in fee simple; that the Grantor has good right and lawful authority to sell and convey the Property; and that the Grantor hereby warrants that title to the land is free from all encumbrances except for restrictions, covenants, conditions, easements and other matters of record (provided, however, that reference thereto shall not serve to re-impose same), and taxes for the year 2022 and subsequent years, and that the Grantor will defend title to the land against the lawful claims of all persons claiming by, through or under Grantor, but against none other.

NOTE TO RECORDER: This deed is a conveyance of unencumbered property for no consideration and is exempt from documentary stamp tax pursuant to Florida Administrative Code Rule 12B-4.014(2)(b). Minimum documentary stamp tax of $0.70 is being paid herein.

IN WITNESS WHEREOF, the said Grantor has duly caused the execution of this Special Warranty Deed as of the date set forth above.

WITNESSES:

By: PARK SQUARE GRANDE PINES, LLC
a Florida limited liability company

_____

Print Name: _____

By:_____
Printed: _____
Title: _____

_____

Print Name: _____

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me by means of [ ] physical presence or [ ] online notarization this ____ day of _____, 2022, by _____ as _____ of Park Square Grande Pines, LLC, a Florida limited liability company, on behalf of said entity. Said person is [ ] personally known to me or [ ] has produced a valid driver's license as identification.

_____
Notary Public

Print Name:_____

My Commission expires: _____

My Commission No.: _____

EXHIBIT "A"

(Legal Description)

Tract R-1, according to the Paradiso Grande Phase 1 plat, as recorded in Plat Book 108, Page 40, Public Records of Orange County, Florida.

Tract D-1, according to the Paradiso Grande Phase 1 plat, as recorded in Plat Book 108, Page 40, Public Records of Orange County, Florida.

Tract D-2, according to the Paradiso Grande Phase 1 plat, as recorded in Plat Book 108, Page 40, Public Records of Orange County, Florida.

BILL OF SALE ABSOLUTE AND AGREEMENT
(Grande Pines Community Development District – Requisition No. 8 – Series 2021 Bonds)
(Paradiso Grande Phase 1)

THIS BILL OF SALE ABSOLUTE AND AGREEMENT (the "**Agreement**") is made as of this _____ day of _____, 2022, is given to the **GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT** (hereinafter referred to as the "**District**"), a local unit of special-purpose government established pursuant to Chapter 190, *Florida Statutes*, whose address is c/o Governmental Management Services – Central Florida, LLC, 219 E. Livingston Street, Orlando, Florida 32801, by **PARK SQUARE GRANDE PINES, LLC**, a Florida Limited Liability Company (hereinafter referred to as the "**Developer**"), whose address is 5200 Vineland Road, Suite 200, Orlando, Florida 32811.

RECITALS

WHEREAS, Developer owns certain real property (the "**Land**") and has constructed infrastructure improvements (collectively, the "**Improvements**") on the Land, as more fully described in the attached **Exhibit** "**A**;" and

WHEREAS, both the Developer and the District find it to be in the best interest of both parties for the District to own, operate and maintain the Improvements for the benefit of the District's landowners; and

WHEREAS, the Developer desires to convey the Improvements to the District to allow such perpetual ownership, operation and maintenance, and the District desires to accept such ownership, operation and maintenance.

.

NOW, THEREFORE, the parties hereto hereby agree to and acknowledge the following:

1. The above recitals are true and correct and are hereby incorporated into this Agreement.

2. **KNOW ALL MEN BY THESE PRESENTS** that Developer, of the County of Orange and the State of Florida, for and in consideration of the sum of Ten Dollars ($10.00) lawful money of the United States, to it paid by the District, the receipt whereof is hereby acknowledged, has granted, bargained, sold, transferred and delivered, and by these presents does grant, bargain, sell, transfer, set over and deliver unto the District, its executors, administrators and assigns, and the District hereby accepts, all of Developer's right, title and interest in and to the Improvements, to have and to hold the same unto the District, its executors, administrators and assigns forever, and the District hereby accepts, all of the Developer's right, title and interest in and to the Improvements, to have and to hold the same unto the District, its executors, administrators and assigns forever, together with all of the Developer's right and title to any and all contracts, warranties, guarantees, permits, approvals and similar rights in favor of or which may have accrued to the Developer from any and all persons, firms, agencies or corporations who have performed work or labor or supplied goods, materials or services to or for the benefit of or comprising any part of the Improvements to the extent they are assignable, together with any related documents,

materials, data, letters, and agreements, to have and to hold unto District, its successors and assigns, to and for its or their use, forever.

3. Developer agrees that any of the above-referenced contracts, warranties, permits, approvals and guarantees which are not assignable by their terms or in respect of which consents to their assignment are required but are not available, shall be held in trust for the District by the Developer (and, if required, performed by the Developer on behalf of the District) and all benefits derived thereunder shall be for the benefit of the District.

4. The Developer represents and warrants to the District that the Developer has good and lawful right, title and interest in the Improvements and that the Improvements are free and clear of any and all liens or encumbrances, that the Improvements are in good working conditions, and as of the date hereof, there are no defaults or violations of the terms and conditions of any contracts, warranties, permits, approvals and guarantees.

5. The above recitals are true and correct and are incorporated herein by reference.

6. This Bill of Sale may be executed in any number of counterparts, each of which shall be deemed an original, but all of which shall constitute one and the same instrument.

[SIGNATURES ON FOLLOWING PAGE]

COUNTERPART SIGNATURE PAGE TO
BILL OF SALE ABSOLUTE AND AGREEMENT
(Grande Pines Community Development District – Requisition No. 8 – Series 2021 Bonds)
(Paradiso Grande Phase 1)

IN WITNESS WHEREOF, the Developer has executed this Bill of Sale and Agreement as of the date first above written

DEVELOPER:

WITNESSES:

Signed, sealed and delivered in the presence of:

_____
Print Name: _____

_____
Print Name: _____

PARK SQUARE GRANDE PINES, LLC,
a Florida Limited Liability Company

By: _____
Name: _____
Title: _____

STATE OF FLORIDA
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me by means of [ ] physical presence or [ ] online notarization, this _____ day of _____, 2022, by _____, as _____ of **PARK SQUARE GRANDE PINES, LLC,** a Florida Limited Liability Company. Said person is [ ] personally known to me or [ ] have produced _____ as identification.

_____
Notary Public; State of Florida
Print Name:_____
My Commission Expires:_____
My Commission No.:_____

(NOTARY SEAL)

COUNTERPART SIGNATURE PAGE TO
BILL OF SALE ABSOLUTE AND AGREEMENT
(Grande Pines Community Development District – Requisition No. 8 – Series 2021 Bonds)
(Paradiso Grande Phase 1)

IN WITNESS WHEREOF, the District has accepted and agreed, and executed this Bill of Sale and Agreement as of the date first above written.

DISTRICT:

ATTEST:

GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT

_____
Print Name: _____
Secretary/Assistant Secretary

By:_____
Name: _____
Title: _____

STATE OF FLORIDA
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me by means of [ ] physical presence or [ ] online notarization, this _____ day of _____, 2022, by _____, as _____ of the Board of Supervisors of the **GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT**, and was attested to by _____, as Secretary/Assistant Secretary of the **GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT**, both for and on behalf of the District. Said person is [ ] personally known to me or [ ] have produced _____ as identification.

_____
Notary Public; State of Florida
Print Name:_____
My Commission Expires:_____
My Commission No.:_____

(NOTARY SEAL)

EXHIBIT "A"

DESCRIPTION OF THE IMPROVEMENTS

1. Roads
2. Stormwater Management
3. Landscape and Hardscape
4. Electrical Distribution and Street Lights
5. Professional and Inspection Fees

On the land described as follows:

A PARCEL OF LAND COMPRISING PORTIONS OF GOLF COURSE PARCEL 3, PARCEL 11 AND LAKE 4 OF THE PLAT OF ORANGEWOOD NEIGHBORHOOD 2 AS RECORDED IN PLAT BOOK 17, PAGES 81 THROUGH 87 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AND LYING IN SECTION 13, TOWNSHIP 24 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE POINT OF INTERSECTION OF THE SOUTH LINE, ACCORDING TO OFFICIAL RECORDS BOOK 2593, PAGE 1260 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA OF THE VALENCIA WATER CONTROL DISTRICT C-1 CANAL AND THE WEST RIGHT-OF-WAY LINE, ACCORDING TO PLAT BOOK 17, PAGES 81 THROUGH 87 OF SAID PUBLIC RECORDS, OF INTERNATIONAL DRIVE, BEING A POINT ON A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 458.90 FEET WITH A CHORD BEARING OF NORTH 67° 07' 50" WEST, AND A CHORD DISTANCE OF 19.55 FEET; THENCE DEPARTING SAID WEST RIGHT-OF-WAY LINE RUN NORTHWESTERLY ALONG SAID SOUTH LINE OF THE VALENCIA WATER CONTROL DISTRICT C-1 AND THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 02° 26' 28" FOR A DISTANCE OF 19.55 FEET TO A POINT OF TANGENCY; THENCE RUN NORTH 65° 54' 36" WEST FOR A DISTANCE OF 286.04 FEET TO THE POINT OF BEGINNING AND A POINT ON A NON TANGENT CURVE, CONCAVE NORTHWESTERLY HAVING A RADIUS OF 1549.86 FEET, WITH A CHORD BEARING OF SOUTH 42° 32' 54" WEST, AND A CHORD DISTANCE OF 352.89 FEET; THENCE DEPARTING AFORESAID SOUTH LINE OF THE VALENCIA WATER CONTROL DISTRICT C-1 CANAL RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 13° 04' 27" FOR A DISTANCE OF 353.66 FEET TO A POINT ON A NON TANGENT CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 371.33 FEET, WITH A CHORD BEARING OF SOUTH 40° 42' 40" EAST, AND A CHORD DISTANCE OF 19.32 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 02° 58' 53" FOR A DISTANCE OF 19.32 FEET TO A POINT OF TANGENCY; THENCE RUN SOUTH 39° 13' 13" EAST FOR A DISTANCE OF 280.78 FEET TO A POINT ON AFORESAID WEST RIGHT-OF-WAY LINE OF INTERNATIONAL DRIVE AND A POINT ON A NON TANGENT CURVE HAVING A RADIUS OF 1849.86 FEET, WITH A CHORD BEARING OF SOUTH 50° 53' 36" WEST, AND

A CHORD DISTANCE OF 100.00 FEET; THENCE RUN SOUTHWESTERLY ALONG SAID WEST RIGHT-OF-WAY LINE AND THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 03° 05' 52" FOR A DISTANCE OF 100.01 FEET TO A POINT ON A NON TANGENT LINE; THENCE DEPARTING SAID WEST RIGHT-OF-WAY LINE RUN NORTH 39° 13' 13" WEST FOR A DISTANCE OF 280.59 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 271.33 FEET, WITH A CHORD BEARING OF NORTH 41° 17' 25" WEST, AND A CHORD DISTANCE OF 19.60 FEET; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 04° 08' 24" FOR A DISTANCE OF 19.61 FEET TO A POINT ON A NON TANGENT LINE; THENCE RUN SOUTH 52° 53' 14" WEST FOR A DISTANCE OF 600.38 FEET; THENCE RUN SOUTH 22° 07' 41" WEST FOR A DISTANCE OF 123.20 FEET; THENCE RUN SOUTH 67° 52' 19" EAST FOR A DISTANCE OF 189.74 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 83.00 FEET, WITH A CHORD BEARING OF SOUTH 53° 59' 09" EAST, AND A CHORD DISTANCE OF 39.84 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 27° 46' 21" FOR A DISTANCE OF 40.23 FEET TO A POINT OF TANGENCY; THENCE RUN SOUTH 40° 05' 58" EAST FOR A DISTANCE OF 24.55 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE INTERNATIONAL DRIVE ACCORDING TO OFFICIAL RECORD BOOK 10722, PAGE 8529, PARCEL 1007 OF AFORESAID PUBLIC RECORDS; THENCE RUN SOUTH 52° 53' 14" WEST ALONG SAID WEST RIGHT-OF-WAY LINE FOR A DISTANCE OF 35.05 FEET TO A POINT ON THE NORTH LINE OF AFORESAID PARCEL 10 ORANGEWOOD NEIGHBORHOOD 2 AND A POINT ON THE NORTH LINE OF PARC CORNICHE CONDOMINIUM, A CONDOMINIUM PHASE 1, ACCORDING TO CONDOMINIUM BOOK 16, PAGE 94 THROUGH 105 OF AFORESAID PUBLIC RECORDS; THENCE RUN THE FOLLOWING TWO COURSES ALONG SAID NORTH LINES: NORTH 40° 05' 58" WEST FOR A DISTANCE OF 34.59 FEET; THENCE RUN NORTH 67° 52' 19" WEST FOR A DISTANCE OF 496.97 FEET TO A POINT ON THE EAST LINE OF SAID PARCEL 3; THENCE RUN NORTH 22° 07' 41" EAST ALONG SAID EAST LINE OF PARCEL 3 FOR A DISTANCE OF 50.00 FEET; THENCE DEPARTING SAID EAST LINE OF PARCEL 3 RUN SOUTH 67° 52' 19" EAST FOR A DISTANCE OF 258.30 FEET; THENCE RUN NORTH 11° 49' 37" EAST FOR A DISTANCE OF 161.14 FEET; THENCE RUN NORTH 19° 56' 22" WEST FOR A DISTANCE OF 14.96 FEET TO A POINT ON A NON TANGENT CURVE, CONCAVE NORTHWESTERLY HAVING A RADIUS OF 76.00 FEET, WITH A CHORD BEARING OF NORTH 39° 45' 10" EAST, AND A CHORD DISTANCE OF 71.19 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 55° 51' 06" FOR A DISTANCE OF 74.08 FEET TO A POINT OF TANGENCY; THENCE RUN NORTH 11° 49' 37" EAST FOR A DISTANCE OF 216.00 FEET; THENCE RUN NORTH 78° 10' 23" WEST FOR A DISTANCE OF 407.00 FEET; THENCE RUN NORTH 11° 49' 37" EAST FOR A DISTANCE OF 52.00 FEET; THENCE RUN NORTH 78° 10' 23" WEST FOR A DISTANCE OF 105.00 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE NORTHEASTERLY HAVING A RADIUS OF 10.00 FEET, WITH A CHORD BEARING OF NORTH 33° 10' 23" WEST, AND A CHORD DISTANCE OF 14.14 FEET; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90° 00' 00" FOR A DISTANCE OF 15.71 FEET TO A POINT OF TANGENCY; THENCE RUN NORTH 11° 49' 37" EAST FOR A DISTANCE OF 240.00 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE

SOUTHEASTERLY HAVING A RADIUS OF 10.00 FEET, WITH A CHORD BEARING OF NORTH 56° 49' 37" EAST, AND A CHORD DISTANCE OF 14.14 FEET; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90° 00' 00" FOR A DISTANCE OF 15.71 FEET TO A POINT OF TANGENCY; THENCE RUN SOUTH 78° 10' 23" EAST FOR A DISTANCE OF 105.00 FEET; THENCE RUN NORTH 11° 49' 37" EAST FOR A DISTANCE OF 52.00 FEET; THENCE RUN SOUTH 78° 10' 23" EAST FOR A DISTANCE OF 331.00 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 76.00 FEET, WITH A CHORD BEARING OF SOUTH 53° 59' 31" EAST, AND A CHORD DISTANCE OF 62.26 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 48° 21' 43" FOR A DISTANCE OF 64.15 FEET TO A POINT ON A NON TANGENT LINE; THENCE RUN NORTH 11° 49' 37" EAST FOR A DISTANCE OF 189.01 FEET TO A POINT ON AFORESAID SOUTH LINE OF VALENCIA WATER CONTROL DISTRICT C-1 CANAL ZW; THENCE RUN THE FOLLOWING COURSES ALONG SAID SOUTH LINE: SOUTH 78° 19' 52" EAST FOR A DISTANCE OF 121.12 FEET; THENCE RUN SOUTH 11° 40' 08" WEST FOR A DISTANCE OF 10.00 FEET; THENCE RUN SOUTH 78° 19' 54" EAST FOR A DISTANCE OF 319.38 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHERLY HAVING A RADIUS OF 873.93 FEET, WITH A CHORD BEARING OF SOUTH 77° 22' 34" EAST, AND A CHORD DISTANCE OF 29.13 FEET; THENCE RUN EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 01° 54' 36" FOR A DISTANCE OF 29.13 FEET TO A POINT ON A NON TANGENT LINE; THENCE RUN SOUTH 13° 34' 43" WEST FOR A DISTANCE OF 5.00 FEET TO A POINT ON A NON TANGENT CURVE, CONCAVE SOUTHERLY HAVING A RADIUS OF 868.42 FEET, WITH A CHORD BEARING OF SOUTH 71° 10' 08" EAST, AND A CHORD DISTANCE OF 159.10 FEET; THENCE RUN EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 10° 30' 41" FOR A DISTANCE OF 159.32 FEET TO A POINT OF TANGENCY; THENCE RUN SOUTH 65° 54' 36" EAST FOR A DISTANCE OF 61.40 FEET TO THE POINT OF BEGINNING.

CONTAINS 13.31 ACRES MORE OR LESS.

OWNER'S AFFIDAVIT
(Grande Pines Community Development District – Requisition No. 8 – Series 2021 Bonds)
(Paradiso Grande Phase 1)

STATE OF FLORIDA
COUNTY OF ORANGE

BEFORE ME, the undersigned authority, personally appeared _____ ("Affiant") as an Authorized Agent of Park Square Grande Pines, LLC, a Florida limited liability company, authorized to do business in Florida, whose principal address is 5200 Vineland Road, Suite 200, Orlando, Florida 32811 (the "Owner"), who being first duly sworn on oath says:

1. That Affiant knows of his own knowledge that the Owner is the fee simple title holder to certain lands located in Orange County, Florida (the "Property") and of certain infrastructure improvements on the Property (the "Improvements"), as more particularly described on Exhibit "A" attached hereto, and that Affiant is an Authorized Agent of the Owner, is making this Affidavit in that capacity only, and that no recourse shall be made against Affiant individually.

2. That the Property, as described in the Special Warranty Deed and Bill of Sale Absolute and Agreement, dated as of the date hereof, are free and clear of all liens and encumbrances except for those encumbrances and matters affecting title set forth in the plat of Paradiso Grande Phase 1, as recorded in Plat Book 108, Page 40, of the Official Records of Orange County, Florida (collectively, the "Plat").

3. That Affiant knows of no facts by reason of which the title to, or possession of, the Property and Improvements might be disputed or questioned, or by reason of which any claim to any part of the Property and Improvements might be asserted adversely to Owner.

4. That there have been no liens filed against the Property or the Improvements as a result of any labor, materials, equipment or other work authorized by Owner, its employees, or agents or of which Owner has actual knowledge, nor any unpaid bills of any nature as a result of any labor, materials, equipment or other work authorized by Owner, its employees, or agents or of which Owner has actual knowledge either for services of any architect, engineer, or surveyor, or for labor or material that may have been placed on the Property or Improvements, either in the construction or repair of the Improvements, or otherwise in connection with the Property which bills may have been incurred during the last ninety (90) days.

5. That no proceedings in bankruptcy or receivership have ever been instituted by or against the Owner, nor has Owner ever made an assignment for the benefit of its creditors.

6. That Affiant knows of no action or proceeding relating to the Property or Improvements which is now pending in any state or federal court in the United States affecting the Property, nor does Affiant know of any state or federal judgment or any federal lien of any kind or nature that now constitutes a lien or charge upon the Property or Improvements.

7. Affiant knows of no special assessments or taxes which are not shown as existing liens by the public records.

8. That this Affidavit is given for the purposes of inducing the Grande Pines Community Development District (the "District"), a Florida community development district and local unit of special-purpose government, to accept the Owner's conveyance of the Property and Improvements to the District.

9. That there are no matters pending against Owner that could give rise to any lien(s) that could attach to the Property or the Improvements between the effective date of the Plat and the recording of the deed of conveyance, and that Affiant shall not execute nor permit the execution or recording of any instruments that would adversely affect title of the Property or the ownership of the Improvements.

10. Section 1445 of the Internal Revenue Code provides that a transferee of a U.S. real property interest must withhold tax if the transferor is a foreign person. To inform the District and Latham, Luna, Eden & Beaudine, LLP ("LLEB"), that withholding of tax is not required upon the disposition of a U.S. real property interest by Owner, Owner hereby swears, affirms and certifies the following to District and LLEB that Owner: (i) is not a foreign person, foreign corporation, foreign partnership, foreign trust or foreign estate (as those terms are defined in the Internal Revenue Code and Income Tax Regulations); (ii) is not a disregarded entity as defined in Section 1.1445-2(b)(2)(iii); (iii) is not a non-resident alien (as such term is defined in the Internal Revenue Code and Income Tax Regulations) for the purposes of U.S. income taxation; (iv) has an EIN/Federal Tax Identification Number of _____; (v) has a mailing address of 5200 Vineland Road, Suite 200, Orlando, Florida 32811. Affiant understands that this certification may be disclosed to the Internal Revenue Service by Transferee and that any false statement contained herein could be punished by fine, imprisonment, or both. Affiant understands that Buyer and LLEB are relying on this certification in determining whether withholding is required upon said transfer.

11. That Affiant is familiar with the nature of an oath and with the penalties as provided by the laws of the State of Florida for falsely swearing to statements made in an instrument of this nature. Affiant further certifies that he has read the full facts set forth in this Affidavit and understands its content and context to be correct in all respects.

[SIGNATURES ON FOLLOWING PAGE]

FURTHER AFFIANT SAYETH NAUGHT.

DATED: _____, **2022**

Signed, sealed and delivered in our presence:

_____
(Signature)

_____
(Print Name)

_____
(Signature)

_____
(Print Name)

PARK SQUARE GRANDE PINES, LLC,
a Florida limited liability company

By:_____

Print:_____

Title:_____

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me by means of [ ] physical presence or [ ] online notarization, this _____ day of _____, 2022, by _____, as _____ of Park Square Grande Pines, LLC, a Florida limited liability company, on behalf of the limited liability company. Said person is [ ] personally known to me or [ ] has produced _____ as identification.

(SEAL)

_____
Notary Public; State of Florida
Print Name: _____
Comm. Exp.: _____; Comm. No.: _____

EXHIBIT "A"

DESCRIPTION OF THE PROPERTY AND IMPROVEMENTS

PROPERTY

Tract R-1, according to the Paradiso Grande Phase 1 plat, as recorded in Plat Book 108, Page 40, Public Records of Orange County, Florida.

Tract D-1, according to the Paradiso Grande Phase 1 plat, as recorded in Plat Book 108, Page 40, Public Records of Orange County, Florida.

Tract D-2, according to the Paradiso Grande Phase 1 plat, as recorded in Plat Book 108, Page 40, Public Records of Orange County, Florida.

IMPROVEMENTS

1. Roads
2. Stormwater Management
3. Landscape and Hardscape
4. Electrical Distribution and Street Lights
5. Professional and Inspection Fees

AGREEMENT REGARDING TAXES

(Grande Pines Community Development District – Requisition No. 8 – Series 2021 Bonds)
(Paradiso Grande Phase 1)

THIS AGREEMENT REGARDING TAXES ("Agreement") is entered into this ____ day of _____, 2022, by and between **PARK SQUARE GRANDE PINES, LLC**, a Florida limited liability company, whose address is 5200 Vineland Road, Suite 200, Orlando, Florida 32811 ("Developer"), and **GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT**, a Florida community development district, whose address is c/o Governmental Management Services – Central Florida, LLC, 219 E. Livingston Street, Orlando, Florida 32801 (the "District").

WITNESSETH

WHEREAS, Developer is the owner and developer of certain real property located within the boundaries of the District, as such property is described on Exhibit "A" attached hereto and incorporated herein by reference (the "Property"); and

WHEREAS, Developer is the owner and developer of infrastructure improvements and personal property, made in, on, over, under and through the Property and the land owned by the District, as described on Exhibit "A" attached hereto and incorporated herein (the "Improvements"); and

WHEREAS, the District is a Florida community development district and local unit of special-purpose government created pursuant to Chapter 190, *Florida Statutes*; and

WHEREAS, as part of the ongoing development activities within the boundaries of the District, Developer has, simultaneously with the execution of this Agreement, conveyed the Property and the Improvements to the District by Warranty Deed and Bill of Sale Absolute and Agreement; and

WHEREAS, all or a substantial portion of real property already owned by the District is either exempt from ad-valorem taxes or has been given a minimal valuation by the Orange County Property Appraiser because of the District's status as a governmental entity; and

WHEREAS, in conjunction with the conveyance of the Property and Improvements from Developer to District, Developer and District are desirous of setting forth in this Agreement their respective responsibilities with regard to applicable ad-valorem taxes and assessments on the Property.

NOW, THEREFORE, in consideration of the sum of Ten and 00/100 Dollars ($10.00) and other valuable considerations, paid by each party to the other, the receipt and sufficiency of which is hereby acknowledged, and in further consideration of the mutual covenants and conditions contained herein, the parties hereto agree as follows:

1. The above recitals are true and correct and are incorporated herein by reference.

2. Developer hereby represents that all ad-valorem taxes and assessments relating to the Property, or any portion thereof, for tax year 2021 and all prior years have been paid in full.

3. Developer hereby agrees to pay in full, and prior to their becoming delinquent, any and all ad-valorem taxes and assessments, if any, levied on the Property for the tax year 2022.

4. Subsequent to the District's acceptance of the Property and Improvements, and only in the event the Property is not conveyed to another governmental entity, the District shall endeavor to either obtain an exemption from ad-valorem taxes pertaining to the Property, as applicable, or in the alternative, shall seek a minimal valuation of the Property, from the Orange County Property Appraiser, as applicable, and subsequent to tax year 2022, Developer shall have no further responsibility with regard to ad-valorem taxes or assessments levied against the Property, as applicable.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed on their behalf by their duly authorized representatives, all as of the date first set forth above.

WITNESSES:

X _____

Print: _____

X _____

Print: _____

PARK SQUARE GRANDE PINES, LLC, a Florida limited liability company

By: _____

Print: _____

Title: _____

GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT, a Florida community development district

ATTEST:

X _____

Print: _____
Secretary/Asst. Secretary

By: _____

Print: _____

Title: _____

EXHIBIT "A"

DESCRIPTION OF THE PROPERTY AND IMPROVEMENTS

PROPERTY

Tract R-1, according to the Paradiso Grande Phase 1 plat, as recorded in Plat Book 108, Page 40, Public Records of Orange County, Florida.

Tract D-1, according to the Paradiso Grande Phase 1 plat, as recorded in Plat Book 108, Page 40, Public Records of Orange County, Florida.

Tract D-2, according to the Paradiso Grande Phase 1 plat, as recorded in Plat Book 108, Page 40, Public Records of Orange County, Florida.

IMPROVEMENTS

1. Roads
2. Stormwater Management
3. Landscape and Hardscape
4. Electrical Distribution and Street Lights
5. Professional and Inspection Fees

CERTIFICATE OF DISTRICT ENGINEER

(Grande Pines Community Development District – Requisition No. 8 – Series 2021 Bonds)
(Paradiso Grande Phase 1)

I, **Christina Baxter, P.E.** of **Poulos & Bennett, LLC**, a Florida limited liability company, authorized to transact business in Florida, and licensed to provide professional engineering services to the public in the State of Florida under Florida Certificate of Authorization No. 67547, with offices located at 2602 E. Livingston Street, Orlando, Florida 32803 ("Poulos"), hereby acknowledge and certify the following, to the best of my knowledge, information and belief, to be true and correct in all respects:

1. That I, through Poulos, currently serve as District Engineer to the Grande Pines Community Development District (the "District").

2. That the District proposes to accept from **Park Square Grande Pines, LLC**, a Florida limited liability company ("Developer") for ownership, operation and maintenance, certain real property described in Exhibit "A" attached hereto and incorporated herein by reference (collectively, the "Property"), plus infrastructure improvements and personal property, made in, on, over, under and through the Property and the land owned by the District, as described more completely in Exhibit "A" attached hereto and incorporated herein by reference (collectively, the "Improvements"). Any real property being conveyed to the District is being transferred at only nominal cost to the District; therefore no review of an appraisal or similar documentation to reasonableness of purchase price or other valuation is required or being rendered.

3. That this certification (the "Certification") is provided in conjunction with, and in support of, the District's approval of the conveyance of the Property and Improvements from the Developer to the District. The District will rely on this Certification for such purposes.

4. That the Improvements were constructed, installed, and/or completed, as appropriate, in accordance with known plans, specifications, contracts and permits required and/or approved by any known governmental authorities, as applicable. I have reviewed the actual cost of the Improvements built or constructed by or at the direction of the Developer and the District is paying no more than the actual cost incurred, or the current value thereof, whichever is less. The Property and Improvements are in a condition acceptable for acceptance by the District.

5. That the Improvements are properly permitted by the appropriate governmental entities, and that copies of the applicable plans, specifications and permits relating to the Improvements, if any, that have actually been provided to Poulos are being held by Poulos as records of the District on its behalf.

6. That the actual cost of the Improvements built or constructed by or at the direction of the Developer, and the District shall pay no more than the actual cost incurred, or the current value thereof, whichever is less, as determined by the District Engineer.

SIGNATURE PAGE TO CERTIFICATE OF DISTRICT ENGINEER
(Grande Pines Community Development District – Requisition No. 8 – Series 2021 Bonds)
(Paradiso Grande Phase 1)

DATED: _____, 2022

Witness: _____
Print: _____

_____
Christina Baxter, P.E.
State of Florida License No.: **67547**
on behalf of the company,
Poulos & Bennett, LLC

Witness: _____
Print: _____

STATE OF FLORIDA
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me by means of [ ] physical presence or [ ] online notarization, this _____ day of _____, 2022 by **CHRISTINA BAXTER** of Poulos & Bennett, LLC, a Florida limited liability company authorized to transact business in Florida, on behalf of said corporation. Said person is [ ] personally known to me or [ ] has produced a valid driver's license as identification.

_____
Notary Public; State of Florida

(SEAL)

Print Name: _____
Comm. Exp.: _____
Comm. No.: _____

EXHIBIT "A"

DESCRIPTION OF THE PROPERTY AND IMPROVEMENTS

PROPERTY

Tract R-1, according to the Paradiso Grande Phase 1 plat, as recorded in Plat Book 108, Page 40, Public Records of Orange County, Florida.

Tract D-1, according to the Paradiso Grande Phase 1 plat, as recorded in Plat Book 108, Page 40, Public Records of Orange County, Florida.

Tract D-2, according to the Paradiso Grande Phase 1 plat, as recorded in Plat Book 108, Page 40, Public Records of Orange County, Florida.

IMPROVEMENTS

1. Roads
2. Stormwater Management
3. Landscape and Hardscape
4. Electrical Distribution and Street Lights
5. Professional and Inspection Fees

SECTION VI

RESOLUTION 2022-10

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT APPROVING THE CONVEYANCE OF REAL PROPERTY AND INFRASTRUCTURE IMPROVEMENTS FROM PARK SQUARE GRANDE PINES, LLC TO THE DISTRICT AND FROM THE DISTRICT TO ORANGE COUNTY, FLORIDA; AUTHORIZING DISTRICT STAFF AND THE CHAIRMAN TO REVIEW, EXECUTE AND ACCEPT ALL DOCUMENTS TO EFFECTUATE SUCH CONVEYANCE; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the Grande Pines Community Development District (the "District") is a local unit of special purpose government duly organized and existing under the provisions of the Uniform Community Development District Act of 1980, Chapter 190, *Florida Statutes*, as amended (the "Act"), for the purpose of, among other things, financing and managing the acquisition, construction, maintenance and operation of certain infrastructure within and without the boundaries of the premises to be governed by the District; and

WHEREAS, the District has the authority, generally under the Act, and specifically under Section 190.012, *Florida Statutes*, to acquire real property and improvements for, among other things, the purposes of operating and maintaining systems, facilities, and basic infrastructure within the District; and

WHEREAS, the District has the authority, generally under Florida Law and the Act, and specifically under Section 190.011(7)(a), *Florida Statutes*, to acquire, dispose of any real property, dedications or platted reservations in any manner so long as it is in the best interest of the District; and

WHEREAS, Park Square Grande Pines, LLC, a Florida limited liability company (hereinafter "Park Square"), has requested the approval and transfer by the District of real property and infrastructure improvements, as more particularly described in the Warranty Deeds, Bills of Sale Absolute and Agreement, Agreement Regarding Taxes, Owner's Affidavit and Certificate of District Engineer, attached hereto as **Exhibit "A**" (the "Conveyance Documents"), from Park Square to the District, and thereafter from the District to Orange County, Florida, a charter county and political subdivision of the State of Florida (hereinafter, "Orange County"); and

WHEREAS, the District Counsel and the District Manager have reviewed the conveyances from Park Square, and the District Engineer has also reviewed the conveyances and has provided a Certificate of District Engineer for each conveyance, attached hereto as part of **Exhibit "A,"** to evidence compliance with the requirements of the District for accepting the conveyances.

NOW, THEREFORE, BE IT RESOLVED by the Board of Supervisors of the District (the "Board"), as follows:

1. Incorporation of Recitals. The above recitals so stated are true and correct and by this reference are incorporated into and form a material part of this Resolution.

2. Approval of Acquisition and Transfer of the Real Property and Improvements. The Board hereby approves the transfer and acceptance of the real property and improvements described in **Exhibit "A,"** to the District and thereafter to Orange County, and approves and accepts the documents evidencing such conveyances in **Exhibit "A."**

3. Authorization of District Staff. The Chairman, the Vice Chairman, the Secretary, any Assistant Secretary and the District Manager of the District, and any authorized designee thereof (collectively, the "District Officers"), District Counsel, and the District Engineer are hereby authorized and directed to take all actions necessary or desirable in connection with the conveyance of the real property and improvements described in **Exhibit "A,"** and all transactions in connection therewith. The District Officers are hereby authorized and directed to execute all necessary or desirable certificates, documents, papers, and agreements necessary to the undertaking and fulfillment of all transactions contemplated by this Resolution.

4. Ratification of Prior Actions. All actions taken to date by the District Officers, District Manager, District Counsel, District Engineer, are hereby ratified and authorized on behalf of the District.

5. Severability. If any section, paragraph, clause or provision of this Resolution shall be held to be invalid or ineffective for any reason, the remainder of this Resolution shall continue in full force and effect, it being expressly hereby found and declared that the remainder of this Resolution would have been adopted despite the invalidity or ineffectiveness of such section, paragraph, clause or provision.

6. Effective Date. This Resolution shall take effect immediately upon its adoption.

[Continues on the Following Pages]

PASSED in public meeting of the Board of Supervisors of the Grande Pines Community Development District, this 19th day of September 2022.

GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT

Attest:

_____	By: _____
Print: _____	Name: _____
Secretary/Asst. Secretary	Title: _____

EXHIBIT "A"

CONVEYANCE DOCUMENTS

1. Warranty Deed between Park Square Grande Pines, LLC and the Grande Pines Community Development District;
2. Warranty Deed between the Grande Pines Community Development District and Orange County, Florida;
3. Bill of Sale Absolute and Agreement between Park Square Grande Pines, LLC and the Grande Pines Community Development District;
4. Bill of Sale between the Grande Pines Community Development District and Orange County, Florida;
5. Agreement Regarding Taxes between Park Square Grande Pines, LLC and the Grande Pines Community Development District;
6. Owner's Affidavit of Park Square Grande Pines, LLC;
7. Certificate of District Engineer

THIS INSTRUMENT PREPARED BY
AND TO BE RETURNED TO:
Jan Albanese Carpenter, Esq.
Latham, Luna, Eden & Beaudine, LLP
P.O. Box 3353
Orlando, Florida 32802

WARRANTY DEED

THIS WARRANTY DEED made as of this ____ day of _____, 2022 by **PARK SQUARE GRANDE PINES, LLC**, a Florida limited liability company, whose address is 5200 Vineland Road, Suite 200, Orlando, Florida 32811 (the "**Grantor**"), to **GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT**, a local unit of special-purpose government established pursuant to Chapter 190, *Florida Statutes*, whose address is c/o Governmental Management Services – Central Florida, LLC, 219 E. Livingston Street, Orlando, Florida 32801 (the "**Grantee**").

(Whenever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations).

That the Grantor, for and in consideration of the sum of **TEN AND NO/100 DOLLARS ($10.00)** and other valuable considerations, the receipt and sufficiency whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situate in Orange County, Florida, more particularly described as follows (the "Property").

SEE EXHIBIT "A" ATTACHED HERETO AND INCORPORATED HEREIN BY REFERENCE.

TOGETHER WITH all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the Grantor does hereby covenant with Grantee that the Grantor is lawfully seized of the Property in fee simple; that the Grantor has good right and lawful authority to sell and convey the Property; that the Grantor hereby warrants that title to the Property is free from all encumbrances except for restrictions, covenants, conditions, easements and other matters of record (provided, however, that reference thereto shall not serve to re-impose same) and taxes for the year 2022 and subsequent years, and that the Grantor will defend title to the Property against the lawful claims of all persons claiming by, through or under the Grantor, but against none other.

NOTE TO RECORDER: This deed is a conveyance of unencumbered property for no consideration and is exempt from documentary stamp tax pursuant to Florida Administrative Code Rule 12B-4.014(2)(b). Minimum documentary stamp tax of $0.70 is being paid herein.

IN WITNESS WHEREOF, the said Grantor has caused these presents to be executed in its name, the day and year first above written.

Signed, sealed and delivered in our presence:

"GRANTOR"

PARK SQUARE GRANDE PINES, LLC, a Florida limited liability company

By: _____

Print: _____

Title: _____

_____
(Signature)

_____
(Print Name)

_____
(Signature)

_____
(Print Name)

STATE OF FLORIDA
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me by means of [ ] physical presence or [ ] online notarization, this _____ day of _____, 2022, by _____, as _____ of **PARK SQUARE GRANDE PINES, LLC**, a Florida limited liability company, on behalf of the limited liability company. Said person is [ ] personally known to me or [ ] has produced _____ as identification.

(SEAL)

_____
Notary Public; State of Florida
Print Name: _____
Comm. Exp.: _____; Comm. No.: _____

EXHIBIT "A"

Description of the Property

Tract LS-1, according to the Paradiso Grande Phase 1 plat, as recorded in Plat Book 108, Page 40, Public Records of Orange County, Florida.

THIS INSTRUMENT PREPARED BY
AND TO BE RETURNED TO:
Jan Albanese Carpenter, Esq.
Latham, Luna, Eden & Beaudine, LLP
P.O. Box 3353
Orlando, Florida 32802

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made this ___ day of _____, 2022 between the **GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT**, a Florida community development district, having an address at c/o Governmental Management Services - Central Florida, LLC, 219 East Livingston Street, Orlando, Florida 32801 (the "Grantor"), and the **ORANGE COUNTY**, a charter county and political subdivision of the State of Florida, whose address is P. O. Box 1393, Orlando, Florida 32802-1393 (hereinafter the "Grantee").

WITNESSETH:

GRANTOR, for and in consideration of the sum of Ten and no/100 Dollars ($10.00) and other good and valuable consideration to Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, hereby grant, convey, bargain, and sell to the said Grantee, and Grantee's successors and assigns forever, the following described property, situate, lying and being in Orange County, Florida, to-wit (the "Property"):

See attached Exhibit "A" incorporated herein by reference.

TOGETHER WITH all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

GRANTOR does hereby covenant with and warrant to Grantee that the Grantor is lawfully seized of the Property in fee simple; that the Grantor has good right and lawful authority to sell and convey the Property; and that the Grantor hereby warrants that title to the land is free from all encumbrances except for restrictions, covenants, conditions, easements and other matters of record (provided, however, that reference thereto shall not serve to re-impose same), and taxes for the year 2022 and subsequent years, and that the Grantor will defend title to the land against the lawful claims of all persons claiming by, through or under Grantor, but against none other.

NOTE TO RECORDER: This deed is a conveyance of unencumbered property for no consideration and is exempt from documentary stamp tax pursuant to Florida Administrative Code Rule 12B-4.014(2)(b). Minimum documentary stamp tax of $0.70 is being paid herein.

IN WITNESS WHEREOF, the said Grantor has duly caused the execution of this Special Warranty Deed as of the date set forth above.

WITNESSES:

By: GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT

_____

Print Name: _____

By:_____
Printed: _____
Title: Chairman

_____

Print Name: _____

STATE OF FLORIDA

COUNTY OF _____

The foregoing instrument was acknowledged before me by means of [ ] physical presence or [ ] online notarization, this _____ day of _____, 2022, by _____ as Chairman of the Board of Supervisors of the Grande Pines Community Development District and who has acknowledged that he has executed the same on behalf of the Grande Pines Community Development District. He has [ ] produced _____ as identification or [ ] is personally known to me.

_____
Notary Public

Print Name:_____

My Commission expires: _____

My Commission No.: _____

EXHIBIT "A"

(Legal Description)

Tract LS-1, according to the Paradiso Grande Phase 1 plat, as recorded in Plat Book 108, Page 40, Public Records of Orange County, Florida.

BILL OF SALE ABSOLUTE AND AGREEMENT
(Grande Pines Community Development District – Requisition No. 8 – Series 2021 Bonds)
(Lift Station – Paradiso Grande Phase 1 Plat)

THIS BILL OF SALE ABSOLUTE AND AGREEMENT ("Agreement") is made as of this ___ day of _____, 2022, by and between **GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT** (hereinafter referred to as the "District"), a Florida community development district created pursuant to Chapter 190, *Florida Statutes*, whose address is c/o Governmental Management Services – Central Florida, LLC, 219 E. Livingston Street, Orlando, Florida 32801, and **PARK SQUARE GRANDE PINES, LLC**, a Florida limited liability company (hereinafter referred to as "Developer"), whose address is 5200 Vineland Road, Suite 200, Orlando, Florida 32811, and

RECITALS

WHEREAS, Developer owns certain improvements, equipment and personal property located within the boundaries of the District, and the extent, nature and location of such improvements and equipment is more fully set forth in Exhibit "A" attached hereto (collectively, the "Improvements"); and

WHEREAS, both Developer and the District find it to be in the best interest of both parties for the District to perpetually own, operate and maintain the Improvements, as the District may deem reasonable or appropriate, within its sole discretion, for the benefit of the District; and

WHEREAS, Developer desires to convey the Improvements to the District to allow such perpetual ownership, operation and maintenance, and the District desires to accept such ownership, operation and maintenance.

NOW, THEREFORE, the parties hereto hereby agree to and acknowledge the following:

1. The above recitals are true and correct and are hereby incorporated into this Agreement.

2. **KNOW ALL MEN BY THESE PRESENTS** that Developer, of the County of Orange and the State of Florida, for and in consideration of the sum of Ten Dollars ($10.00) lawful money of the United States, to it paid by the District, the receipt whereof is hereby acknowledged, has granted, bargained, sold, transferred and delivered, and by these presents does grant, bargain, sell, transfer, set over and deliver unto the District, its executors, administrators and assigns, and the District hereby accepts, all of Developer's right, title and interest in and to the Improvements, to have and to hold the same unto the District, its executors, administrators and assigns forever, together with all of the Developer's right and title to any and all contracts, warranties, guarantees, permits, approvals and similar rights in favor of or which may have accrued to the Developer from any and all persons, firms, agencies or corporations who have performed work or labor or supplied goods, materials or services to or for the benefit of or comprising any part of the Improvements to the extent they are assignable, together with any related documents, materials, data, letters, and agreements, to have and to hold unto District, its executors, administrators and assigns, to and for its

or their use, forever.

3. Developer agrees that any of the above-referenced contracts, warranties, permits, approvals and guarantees which are not assignable by their terms or in respect of which consents to their assignment are required but are not available, shall be held in trust for the District by the Developer (and, if required, performed by the Developer on behalf of the District) and all benefits derived thereunder shall be for the benefit of the District.

4. The Developer represents and warrants to the District that the Developer has good and lawful right, title and interest in the Improvements and that the Improvements are free and clear of any and all liens or encumbrances, that the Improvements are in good working condition, and as of the date hereof, there are no defaults or violations of the terms and conditions of any such contracts, warranties, permits, approvals and guarantees.

5. The above recitals are true and correct and are incorporated herein by reference.

6. This Bill of Sale may be executed in any number of counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument.

.

[SIGNATURES APPEAR ON THE FOLLOWING PAGES]

IN WITNESS WHEREOF, the parties hereto have caused these presents to be executed in their respective names, by their proper officer thereunto duly authorized, as of the day and year first above written.

Signed, sealed and delivered

PARK SQUARE GRANDE PINES, LLC, a Florida limited liability company

_____
Witness

By:_____

Print: _____

_____
Printed Name

Title: _____

_____
Witness

_____
Printed Name

STATE OF FLORIDA
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me by means of [ ] physical presence or [ ] online notarization, this ____ day of _____, 2022, by _____, as _____ of **PARK SQUARE GRANDE PINES, LLC**, a Florida limited liability company, on behalf of the limited liability company. Said person is [ ] personally known to me or [ ] has produced _____ as identification.

_____
Notary Public; State of Florida
Print Name:_____
My Commission Expires:_____
My Commission No.:_____

COUNTERPART SIGNATURE PAGE TO BILL OF SALE
(Grande Pines Community Development District – Requisition No. 8 – Series 2021 Bonds)
(Lift Station – Paradiso Grande Phase 1 Plat)

GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT,
a Florida community development district

ATTEST:

By:_____

By: _____
Secretary/Asst. Secretary

Print: _____

Title: Chairman

STATE OF FLORIDA
COUNTY OF ORANGE

The foregoing instrument, before me by means of [ ] physical presence or [ ] online notarization, this _____ day of _____, 2022, was acknowledged by _____, as Chairman of the Board of Supervisors of the **GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT**, a Florida community development district, on its behalf, and was attested to by _____, as the Sectary/Asst. Secretary of the GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT, on its behalf. Said persons are [ ] personally known to me or [ ] produced _____ as identification.

_____
Notary Public; State of Florida
Print Name:_____
My Commission Expires:_____
My Commission No.:_____

EXHIBIT "A"

LIST AND DESCRIPTION OF IMPROVEMENTS & EQUIPMENT

Lift station tract improvements, including all pipes, valves, fittings, wet well, pumps, electrical panels, fencing and other equipment.

The foregoing Improvements are located on the following real property tract:

Tract LS-1, according to the Paradiso Grande Phase 1 plat, as recorded in Plat Book 108, Page 40, Public Records of Orange County, Florida.

Bill of Sale

Lift Station Tract LS-1 of Paradiso Grande Phase 1

Grande Pines Community Development District

{OCU Project No. _____}

Grande Pines Community Development District, a local unit of special-purpose government established pursuant to Chapter 190, Florida Statutes, whose address is c/o Governmental Management Services – Central Florida, LLC, 219 E. Livingston Street, Orlando, Florida 32801 ("Seller"), for and in consideration of the sum of one dollar ($1.00) and other valuable consideration paid to Seller by **County of Orange,** a political subdivision of the State of Florida ("Buyer"), the receipt and sufficiency of which are hereby acknowledged, does hereby grant, sell, transfer, convey and deliver to Buyer all pipes, valves, fittings, wet well, pumps, electrical panels, fencing and other equipment that comprise the lift station tract described as follows:

Tract LS-1, according to the Paradiso Grande Phase 1 plat, as recorded in Plat Book 108, Page 40, Public Records of Orange County, Florida.

Buyer shall have all rights and title to the goods in itself and its assigns.

Seller warrants that it is the lawful owner of the goods and the goods are free from all liens and encumbrances. Seller has good right and title to sell the goods and will warrant and defend the right against the lawful claims and demands of all persons.

GRANDE PINES COMMINUTY DEVELOPMENT DISTRICT,
a local unit of special-purpose government established
pursuant to Chapter 190, Florida Statutes

By: _____

Name: _____

Title: _____

IN WITNESS WHEREOF, Seller has executed this Agreement at _____,
Florida on _____, 2022.

SIGNED, SEALED AND DELIVERED

By:_____

IN THE PRESENCE OF:

_____
Witness

_____
Attest:

AGREEMENT REGARDING TAXES

(Grande Pines Community Development District – Requisition No. 8 – Series 2021 Bonds)
(Lift Station – Paradiso Grande Phase 1 Plat)

THIS AGREEMENT REGARDING TAXES ("Agreement") is entered into this ____ day of _____, 2022, by and between **PARK SQUARE GRANDE PINES, LLC**, a Florida limited liability company, whose address is 5200 Vineland Road, Suite 200, Orlando, Florida 32811 (the "Developer"), and the **GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT**, a Florida community development district, whose address is c/o Governmental Management Services – Central Florida, LLC, 219 E. Livingston Street, Orlando, Florida 32801 (the "District").

W I T N E S S E T H:

WHEREAS, Developer is the owner and developer of certain real property located within the boundaries of the District, as such property is described on Exhibit "A" attached hereto and incorporated herein (the "Property"); and

WHEREAS, Developer is the owner and developer of infrastructure improvements and personal property, made in, on, over, under and through the Property and the land owned by the District, as described on Exhibit "A" attached hereto and incorporated herein (the "Improvements"); and

WHEREAS, the District is a Florida community development district and local unit of special-purpose government created pursuant to Chapter 190, *Florida Statutes*; and

WHEREAS, as part of the ongoing development activities within the boundaries of the District, Developer has, simultaneously with the execution of this Agreement, conveyed the Property and the Improvements to the District by Warranty Deed and Bill of Sale Absolute and Agreement; and

WHEREAS, all or a substantial portion of real property already owned by the District is either exempt from ad-valorem taxes or has been given a minimal valuation by the Orange County Property Appraiser because of the District's status as a governmental entity; and

WHEREAS, in conjunction with the conveyance of the Property and Improvements from Developer to District, Developer and District are desirous of setting forth in this Agreement their respective responsibilities with regard to applicable ad-valorem taxes and assessments on the Property.

NOW, THEREFORE, in consideration of the sum of Ten and 00/100 Dollars ($10.00) and other valuable considerations, paid by each party to the other, the receipt and sufficiency of which is hereby acknowledged, and in further consideration of the mutual covenants and conditions contained herein, the parties hereto agree as follows:

1. The above recitals are true and correct and are incorporated herein by reference.

2. Developer hereby represents that all ad-valorem taxes and assessments relating to the Property, or any portion thereof, for tax year 2021 and all prior years have been paid in full.

3. Developer hereby agrees to pay in full, and prior to their becoming delinquent, any and all ad-valorem taxes and assessments, if any, levied on the Property for the tax year 2022.

4. Subsequent to the District's acceptance of the Property and Improvements, and only in the event the Property and Improvements are not conveyed to another governmental entity, the District shall endeavor to either obtain an exemption from ad-valorem taxes pertaining to the Property or, in the alternative, shall seek a minimal valuation of the Property, from the Orange County Property Appraiser and, subsequent to tax year 2022, Developer shall have no further responsibility with regard to ad-valorem taxes or assessments levied against the Property and/or Improvements, as applicable.

[SIGNATURE PAGE FOLLOWS]

SIGNATURE PAGE TO AGREEMENT REGARDING TAXES
(Grande Pines Community Development District – Requisition No. 8 – Series 2021 Bonds)
(Lift Station – Paradiso Grande Phase 1 Plat)

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed on their behalf by their duly authorized representatives, all as of the date first set forth above.

WITNESSES:

Signed, sealed and delivered in the presence of:

_____
_____

_____
_____

GRANTOR:

PARK SQUARE GRANDE PINES, LLC, a Florida limited liability company

By: _____
Print: _____
Title: _____

ATTEST:

_____
_____
Secretary/Asst. Secretary

DISTRICT:

GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT, a Florida community development district

By: _____
Printed Name: _____
Title:_____

EXHIBIT "A"

DESCRIPTION OF THE PROPERTY AND IMPROVEMENTS

PROPERTY

Tract LS-1, according to the Paradiso Grande Phase 1 plat, as recorded in Plat Book 108, Page 40, Public Records of Orange County, Florida.

IMPROVEMENTS

Lift station tract improvements, including all pipes, valves, fittings, wet well, pumps, electrical panels, fencing and other equipment.

OWNER'S AFFIDAVIT
(Grande Pines Community Development District – Requisition No. 8 – Series 2021 Bonds)
(Lift Station – Paradiso Grande Phase 1 Plat)

STATE OF FLORIDA
COUNTY OF ORANGE

BEFORE ME, the undersigned authority, personally appeared _____ ("Affiant") as _____ of **Park Square Grande Pines, LLC**, a Florida limited liability company, whose principal address is 5200 Vineland Road, Suite 200, Orlando, Florida 32811 (the "Owner"), who being first duly sworn on oath says:

1. That Affiant knows of his own knowledge that the Owner is the fee simple title holder to certain lands located in Orange County, Florida (the "Property") and of certain infrastructure improvements on the Property (the "Improvements"), as more particularly described on Exhibit "A" attached hereto, and that Affiant is the _____ of the Owner, is making this Affidavit in that capacity only, and that no recourse shall be made against Affiant individually.

2. That the Property and Improvements, as described in the Warranty Deed and Bill of Sale Absolute and Agreement, dated as of the date hereof, are free and clear of all liens and encumbrances except for those encumbrances and matters affecting title included in First American Title Insurance Company Commitment No. _____**,** dated _____, 2022 at 8:00 A.M. (the "Commitment").

3. That Affiant knows of no facts by reason of which the title to, or possession of, the Property and Improvements might be disputed or questioned, or by reason of which any claim to any part of the Property and Improvements might be asserted adversely to Owner.

4. That there have been no liens filed against the Property or the Improvements as a result of any labor, materials, equipment or other work authorized by Owner, its employees, or agents or of which Owner has actual knowledge, nor any unpaid bills of any nature as a result of any labor, materials, equipment or other work authorized by Owner, its employees, or agents or of which Owner has actual knowledge either for services of any architect, engineer, or surveyor, or for labor or material that may have been placed on the Property or Improvements, either in the construction or repair of the Improvements, or otherwise in connection with the Property which bills may have been incurred during the last ninety (90) days.

5. That no proceedings in bankruptcy or receivership have ever been instituted by or against the Owner, nor has Owner ever made an assignment for the benefit of its creditors.

6. That Affiant knows of no action or proceeding relating to the Property or Improvements which is now pending in any state or federal court in the United States affecting the Property, nor does Affiant know of any state or federal judgment or any federal lien of any kind or nature that now constitutes a lien or charge upon the Property or Improvements.

7. That, except as set forth in the Commitment, Affiant knows of no unrecorded easements, liens, or assessments for sanitary sewers, streets, roadways, paving, other public

utilities or improvements against the Property, nor are there any special assessments or taxes which are not shown as existing liens by the public records.

8. That this Affidavit is given for the purposes of inducing the Grande Pines Community Development District (the "District"), a Florida community development district and local unit of special-purpose government, to accept the Owner's conveyance of the Property and Improvements to the District.

9. That there are no matters pending against Owner that could give rise to any lien(s) that could attach to the Property or the Improvements between the effective date of the Commitment and the recording of the deed of conveyance, and that Affiant shall not execute nor permit the execution or recording of any instruments that would adversely affect title of the Property or the ownership of the Improvements.

10. Section 1445 of the Internal Revenue Code provides that a transferee of a U.S. real property interest must withhold tax if the transferor is a foreign person. To inform the District and Latham, Luna, Eden & Beaudine, LLP ("LLEB"), that withholding of tax is not required upon the disposition of a U.S. real property interest by Owner, Owner hereby swears, affirms and certifies the following to District and LLEB that Owner: (i) is not a foreign person, foreign corporation, foreign partnership, foreign trust or foreign estate (as those terms are defined in the Internal Revenue Code and Income Tax Regulations); (ii) is not a disregarded entity as defined in Section 1.1445-2(b)(2)(iii); (iii) is not a non-resident alien (as such term is defined in the Internal Revenue Code and Income Tax Regulations) for the purposes of U.S. income taxation; (iv) has an EIN/Federal Tax Identification Number of _____; (v) has a mailing address of 5200 Vineland Road, Suite 200, Orlando, Florida 32811. Affiant understands that this certification may be disclosed to the Internal Revenue Service by Owner and that any false statement contained herein could be punished by fine, imprisonment, or both. Affiant understands that the District and LLEB are relying on this certification in determining whether withholding is required upon said transfer.

11. That Affiant is familiar with the nature of an oath and with the penalties as provided by the laws of the State of Florida for falsely swearing to statements made in an instrument of this nature. Affiant further certifies that he has read the full facts set forth in this Affidavit and understands its content and context to be correct in all respects.

[SIGNATURES ON FOLLOWING PAGE]

FURTHER AFFIANT SAYETH NAUGHT.

DATED: _____ , **2022**

Signed, sealed and delivered in our presence:

_____
(Signature)

_____
(Print Name)

_____
(Signature)

_____
(Print Name)

PARK SQUARE GRANDE PINES, LLC, a Florida limited liability company

By:_____

Print: _____

Title: _____

STATE OF FLORIDA

COUNTY OF ORANGE

The foregoing instrument was acknowledged before me by means of [ ] physical presence or [ ] online notarization, this _____ day of _____, 2022, by _____, as _____ of **PARK SQUARE GRANDE PINES, LLC**, a Florida limited liability company, on behalf of the limited liability company. Said person is [ ] personally known to me or [ ] has produced _____ as identification.

(SEAL)

_____
Notary Public; State of Florida
Print Name: _____
Comm. Exp.: _____; Comm. No.: _____

EXHIBIT "A"

DESCRIPTION OF THE PROPERTY AND IMPROVEMENTS

PROPERTY

Tract LS-1, according to the Paradiso Grande Phase 1 plat, as recorded in Plat Book 108, Page 40, Public Records of Orange County, Florida.

IMPROVEMENTS

Lift station tract improvements, including all pipes, valves, fittings, wet well, pumps, electrical panels, fencing and other equipment.

CERTIFICATE OF DISTRICT ENGINEER

(Grande Pines Community Development District – Requisition No. 8 – Series 2021 Bonds)
(Lift Station – Paradiso Grande Phase 1 Plat)

I, **Christina Baxter, P.E.** of **Poulos & Bennett, LLC**, a Florida limited liability company, authorized to transact business in Florida, and licensed to provide professional engineering services to the public in the State of Florida under Florida Certificate of Authorization No. 67547, with offices located at 2602 E. Livingston Street, Orlando, Florida 32803 ("Poulos"), hereby acknowledge and certify the following, to the best of my knowledge, information and belief, to be true and correct in all respects:

1. That I, through Poulos, currently serve as District Engineer to the Grande Pines Community Development District (the "District").

2. That the District proposes to accept from **Park Square Grande Pines, LLC**, a Florida limited liability company ("Developer"), for ownership, operation and maintenance, certain real property described in Exhibit "A" attached hereto and incorporated herein (collectively, the "Property"), plus infrastructure improvements and personal property, made in, on, over, under and through the Property and the land owned by the District, as described more completely in Exhibit "A" attached hereto and incorporated herein (collectively, the "Improvements"), and subsequently convey such real property and improvements to Orange County, a charter county and political subdivision of the State of Florida, whose address is P.O. Box 1393, Orlando, Florida 32802-1393 ("Orange County"). Any real property being conveyed to the District is being transferred at only nominal cost to the District, so no review of an appraisal or similar documentation to reasonableness of purchase price or other valuation is required or being rendered.

3. That this certification (the "Certification") is provided in conjunction with, and in support of, the District's approval of the conveyance of the Property and Improvements from the Developer to the District and the District's subsequent conveyance of the Property and Improvements to Orange County. The District will rely on this Certification for such purposes.

4. That the Improvements were constructed, installed, and/or completed, as appropriate, in accordance with known plans, specifications, contracts and permits required and/or approved by any known governmental authorities, as applicable. I have reviewed the actual cost of the Improvements built or constructed by or at the direction of the Developer and the District is paying no more than the actual cost incurred, or the current value thereof, whichever is less. The Property and Improvements are in a condition acceptable for acceptance by the District.

5. That the Improvements are properly permitted by the appropriate governmental entities, and that copies of the applicable plans, specifications and permits relating to the Improvements, if any, that have actually been provided to Poulos are being held by Poulos as records of the District on its behalf.

6. The District shall pay no more than the actual cost incurred by the Developer for the Improvements built or constructed by or at the direction of the Developer or the current fair market value thereof, whichever is less, as determined by the District Engineer.

[Signatures on the Following Page]

SIGNATURE PAGE TO CERTIFICATE OF DISTRICT ENGINEER
(Grande Pines Community Development District – Requisition No. 8 – Series 2021 Bonds)
(Lift Station – Paradiso Grande Phase 1 Plat)

DATED: _____, 2022

Witness: _____
Print: _____

_____
Christina Baxter, P.E.
State of Florida License No.: **67547**
on behalf of the company,
Poulos & Bennett, LLC

Witness: _____
Print: _____

STATE OF FLORIDA
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me by means of [ ] physical presence or [ ] online notarization, this _____ day of _____, 2022 by **CHRISTINA BAXTER** of Poulos & Bennett, LLC, a Florida limited liability company authorized to transact business in Florida, on behalf of said corporation. Said person is [ ] personally known to me or [ ] has produced a valid driver's license as identification.

_____
Notary Public; State of Florida

(SEAL)

Print Name: _____
Comm. Exp.: _____
Comm. No.: _____

EXHIBIT "A"

DESCRIPTION OF THE PROPERTY AND IMPROVEMENTS

PROPERTY

Tract LS-1, according to the Paradiso Grande Phase 1 plat, as recorded in Plat Book 108, Page 40, Public Records of Orange County, Florida.

IMPROVEMENTS

Lift station tract improvements, including all pipes, valves, fittings, wet well, pumps, electrical panels, fencing and other equipment.

SECTION VII

SECTION C

SECTION 1

Grande Pines

Community Development District

Unaudited Financial Reporting

August 31, 2022

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1	Balance Sheet
2-3	General Fund
4	Debt Service Fund - Series 2021
5	Capital Projects Fund - Series 2021
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8	Long Term Debt Report
9	Assessment Receipt Schedule

Grande Pines

Community Development District

Combined Balance Sheet

August 31, 2022

	General Fund	*Debt Service Fund*	*Capital Project Fund*	*Total Governmental Funds*
Assets:				
Cash	$ 6,314	$ -	$ -	$ 6,314
Due From Developer	$ 8,639	$ -	$ -	$ 8,639
Prepaid Expenses	$ 2,020	$ -	$ -	$ 2,020
Series 2021				
Reserve	$ -	$ 382,500	$ -	$ 382,500
Revenue	$ -	$ 123,612	$ -	$ 123,612
Construction	$ -	$ -	$ 3,739,608	$ 3,739,608
Total Assets	**$ 16,973**	**$ 506,112**	**$ 3,739,608**	**$ 4,262,692**
Liabilities:				
Accounts Payable	$ 10,452	$ -	$ -	$ 10,452
Due to Developer	$ -	$ -	$ 16,700	$ 16,700
Due To Other	$ -	$ -	$ -	$ -
Fica Payable	$ -	$ -	$ -	$ -
Total Liabilites	**$ 10,452**	**$ -**	**$ 16,700**	**$ 27,152**
Fund Balances:				
Unassigned	$ 6,521	$ -	$ -	$ 6,521
Assigned for Debt Service	$ -	$ 506,111	$ -	$ 506,111
Assigned for Capital Projects	$ -	$ -	$ 3,722,908	$ 3,722,908
Total Fund Balances	**$ 6,521**	**$ 506,111**	**$ 3,722,908**	**$ 4,235,540**
Total Liabilities & Fund Equity	$ 16,973	$ 506,111	$ 3,739,608	$ 4,262,692

Grande Pines

Community Development District

General Fund

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending August 31, 2022

	Adopted Budget	Prorated Budget Thru 08/31/22	Actual Thru 08/31/22	Variance
Revenues:				
Developer Contributions	$ 498,778	$ 65,859	$ 65,859	$ -
Total Revenues	**$ 498,778**	**$ 65,859**	**$ 65,859**	**$ -**
Expenditures:				
Administrative Expenditures				
Supervisor Fees	$ 12,000	$ 11,000	$ 800	$ 10,200
FICA Expense	$ 918	$ 842	$ 199	$ 643
Engineering	$ 12,000	$ 11,000	$ 645	$ 10,355
Attorney	$ 25,000	$ 22,917	$ 5,679	$ 17,238
Arbitrage	$ 450	$ 450	$ 450	$ -
Annual Audit	$ 5,000	$ 4,900	$ 4,900	$ -
Dissemination Fees	$ 3,500	$ 3,208	$ 3,208	$ -
Trustee Fees	$ 5,000	$ 2,020	$ 2,020	$ -
Assessment Administration	$ 5,000	$ 5,000	$ 5,000	$ -
Management Fees	$ 35,000	$ 32,083	$ 32,083	$ (0)
Information Technology	$ 1,000	$ 917	$ 917	$ 0
Website Administration	$ 500	$ 458	$ 458	$ (0)
Telephone	$ 300	$ 275	$ -	$ 275
Postage	$ 700	$ 642	$ 36	$ 606
Insurance	$ 5,776	$ 5,776	$ 5,435	$ 341
Printing & Binding	$ 700	$ 642	$ 12	$ 629
Legal Advertising	$ 5,000	$ 4,583	$ 560	$ 4,023
Other Current Charges	$ 1,000	$ 917	$ 402	$ 515
Office Supplies	$ 400	$ 367	$ 16	$ 351
Dues, Licenses & Subscriptions	$ 175	$ 175	$ 175	$ -
Total Administrative Expenditures	**$ 119,419**	**$ 108,171**	**$ 62,996**	**$ 45,175**

Grande Pines

Community Development District

General Fund

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending August 31, 2022

	Adopted Budget	Prorated Budget Thru 08/31/22	Actual Thru 08/31/22	Variance
Field Expenditures				
Field Management	$ 15,000	$ -	$ -	$ -
Gate Attendants	$ 163,171	$ -	$ -	$ -
Gate Repairs	$ 6,000	$ -	$ -	$ -
Gate Internet, Phone, Cable	$ 3,000	$ -	$ -	$ -
Gate Cameras	$ 1,200	$ -	$ -	$ -
Gate Supplies	$ 1,500	$ -	$ -	$ -
Property Insurance	$ 2,465	$ -	$ -	$ -
Electric	$ 6,900	$ -	$ -	$ -
Streetlights	$ 60,648	$ -	$ -	$ -
Water & Sewer	$ 21,740	$ -	$ -	$ -
Landscape Maintenance	$ 69,900	$ -	$ -	$ -
Landscape Contingency	$ 1,000	$ -	$ -	$ -
Irrigation Repairs	$ 3,000	$ -	$ -	$ -
Lake Maintenance	$ 12,035	$ -	$ -	$ -
Pressure Washing	$ 6,000	$ -	$ -	$ -
Sign Maintenance	$ 1,800	$ -	$ -	$ -
Repairs & Maintenance	$ 1,500	$ -	$ -	$ -
Contingency	$ 2,500	$ -	$ -	$ -
Total Field Expenditures	**$ 379,359**	**$ -**	**$ -**	**$ -**
Total Expenditures	**$ 498,778**	**$ 108,171**	**$ 62,996**	**$ 45,175**
Excess (Deficiency) of Revenues over Expenditures	$ -		$ 2,863	
Fund Balance - Beginning	$ -		$ 3,659	
Fund Balance - Ending	$ -		$ 6,521	

Grande Pines

Community Development District

Debt Service Fund Series 2021

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending August 31, 2022

	Adopted Budget	Prorated Budget Thru 08/31/22	Actual Thru 08/31/22	Variance
Revenues				
Assessment - Direct	$ 382,500	$ 382,500	$ 382,500	$ -
Interest	$ -	$ -	$ 710	$ 710
Total Revenues	**$ 382,500**	**$ 382,500**	**$ 383,210**	**$ 710**
Expenditures:				
Series 2021				
Interest - 11/1	$ 124,063	$ 124,063	$ 124,063	$ -
Principal - 5/1	$ 135,000	$ 135,000	$ 135,000	$ -
Interest - 5/1	$ 124,063	$ 124,063	$ 124,063	$ -
Total Expenditures	**$ 383,126**	**$ 383,126**	**$ 383,126**	**$ -**
Other Financing Sources/(Uses)				
Transfer In/(Out)	$ -	$ -	$ (539)	$ (539)
Total Other Financing Sources/(Uses)	**$ -**	**$ -**	**$ (539)**	**$ (539)**
Excess (Deficiency) of Revenues over Expenditures	$ (626)		$ (455)	
Fund Balance - Beginning	$ 124,065		$ 506,566	
Fund Balance - Ending	$ 123,440		$ 506,111	

Grande Pines

Community Development District

Capital Projects Fund Series 2021

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending August 31, 2022

	Adopted Budget	Prorated Budget Thru 08/31/22	Actual Thru 08/31/22	Variance
Revenues				
Interest	$ -	$ -	$ 8,270	$ 8,270
Total Revenues	**$ -**	**$ -**	**$ 8,270**	**$ 8,270**
Expenditures:				
Capital Outlay	$ -	$ -	$ 2,136,064	$ (2,136,064)
Total Expenditures	**$ -**	**$ -**	**$ 2,136,064**	**$ (2,136,064)**
Other Financing Sources/(Uses)				
Transfer In/(Out)	$ -	$ -	$ 539	$ 539
Total Other Financing Sources/(Uses)	**$ -**	**$ -**	**$ 539**	**$ 539**
Excess (Deficiency) of Revenues over Expenditures	$ -		$ (2,127,254)	
Fund Balance - Beginning	$ -		$ 5,850,162	
Fund Balance - Ending	$ -		$ 3,722,908	

Grande Pines

Community Development District

	Oct	Nov	Dec	Jan	Feb	March	April	May	June	July	Aug	Sept	Total
Revenues:													
Developer Contributions/Assessments	$ 10,435	$ 4,511	$ 3,620	$ 3,439	$ -	$ 7,917	$ 4,356	$ 10,498	$ 7,732	$ 4,712	$ 8,639	$ -	$ 65,859
Total Revenues	**$ 10,435**	**$ 4,511**	**$ 3,620**	**$ 3,439**	**$ -**	**$ 7,917**	**$ 4,356**	**$ 10,498**	**$ 7,732**	**$ 4,712**	**$ 8,639**	**$ -**	**$ 65,859**
Expenditures:													
Administrative Expenditures													
Supervisor Fees	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 400	$ 400	$ -	$ 800
FICA Expense	$ -	$ 46	$ -	$ -	$ -	$ 46	$ 46	$ -	$ -	$ 31	$ 31	$ -	$ 199
Engineering	$ -	$ 53	$ 368	$ 56	$ -	$ -	$ 113	$ -	$ 56	$ -	$ -	$ -	$ 645
Attorney	$ 234	$ 51	$ -	$ 966	$ -	$ 200	$ 1,006	$ 256	$ 509	$ 2,459	$ -	$ -	$ 5,679
Arbitrage	$ -	$ -	$ -	$ -	$ -	$ -	$ 450	$ -	$ -	$ -	$ -	$ -	$ 450
Annual Audit	$ -	$ -	$ -	$ -	$ -	$ -	$ 4,900	$ -	$ -	$ -	$ -	$ -	$ 4,900
Dissemination Fees	$ 292	$ 292	$ 292	$ 292	$ 292	$ 292	$ 292	$ 292	$ 292	$ 292	$ 292	$ -	$ 3,208
Trustee Fees	$ -	$ -	$ -	$ -	$ -	$ -	$ 2,020	$ -	$ -	$ -	$ -	$ -	$ 2,020
Assessment Administration	$ 5,000	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 5,000
Management Fees	$ 2,917	$ 2,917	$ 2,917	$ 2,917	$ 2,917	$ 2,917	$ 2,917	$ 2,917	$ 2,917	$ 2,917	$ 2,917	$ -	$ 32,083
Information Technology	$ 83	$ 83	$ 83	$ 83	$ 83	$ 83	$ 83	$ 83	$ 83	$ 83	$ 83	$ -	$ 917
Website Administration	$ 42	$ 42	$ 42	$ 42	$ 42	$ 42	$ 42	$ 42	$ 42	$ 42	$ 42	$ -	$ 458
Telephone	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Postage	$ 3	$ 1	$ 2	$ 11	$ 1	$ -	$ 3	$ 5	$ 2	$ 8	$ 0	$ -	$ 36
Insurance	$ 5,435	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 5,435
Printing & Binding	$ 4	$ -	$ -	$ -	$ -	$ 1	$ -	$ 3	$ -	$ 1	$ 3	$ -	$ 12
Legal Advertising	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 560	$ -	$ -	$ 560
Other Current Charges	$ 30	$ 30	$ 43	$ 38	$ 38	$ 30	$ 38	$ 38	$ 38	$ 38	$ 38	$ -	$ 402
Office Supplies	$ 15	$ 0	$ 0	$ 0	$ 0	$ -	$ 0	$ 0	$ 0	$ 0	$ -	$ -	$ 16
Dues, Licenses & Subscriptions	$ 175	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 175
Total Administrative Expenditure	**$ 14,230**	**$ 3,514**	**$ 3,747**	**$ 4,404**	**$ 3,373**	**$ 3,609**	**$ 11,910**	**$ 3,637**	**$ 3,938**	**$ 6,830**	**$ 3,805**	**$ -**	**$ 62,996**

Grande Pines

Community Development District

	Oct	Nov	Dec	Jan	Feb	March	April	May	June	July	Aug	Sept	Total
Field Expenditures													
Field Management	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Gate Attendants	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Gate Repairs	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Gate Internet, Phone, Cable	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Gate Cameras	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Gate Supplies	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Property Insurance	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Electric	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Streetlights	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Water & Sewer	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Landscape Maintenance	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Landscape Contingency	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Irrigation Repairs	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Lake Maintenance	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Pressure Washing	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Sign Maintenance	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Repairs & Maintenance	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Contingency	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Total Field Expenditures	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**
Total Expenditures	**$ 14,230**	**$ 3,514**	**$ 3,747**	**$ 4,404**	**$ 3,373**	**$ 3,609**	**$ 11,910**	**$ 3,637**	**$ 3,938**	**$ 6,830**	**$ 3,805**	**$ -**	**$ 62,996**
Excess (Deficiency) of Revenues over Expenditures	$ (3,795)	$ 997	$ (126)	$ (965)	$ (3,373)	$ 4,308	$ (7,554)	$ 6,861	$ 3,794	$ (2,118)	$ 4,834	$ -	$ 2,863

Grande Pines

Community Development District

Long Term Debt Report

Series 2021, Special Assessment Bonds		
Interest Rates:	2.50%, 3.20%, 3.75%, 4.00%	
Maturity Date:	5/1/2051	
Reserve Fund Definition	50% of Maximum Annual Debt Service	
Reserve Fund Requirement	$382,500	
Reserve Fund Balance	$382,500	
Bonds Outstanding - 11/1/21		$6,760,000
Less: Principal payment - 5/1/22		($135,000)
Current Bonds Outstanding		**$6,625,000**

Grand Pines CDD

COMMUNITY DEVELOPMENT DISTRICT

Special Assessment Receipts

Fiscal Year 2022

Direct Bill Assessments

Park Square Grande Pines, LLC
2022-01 $382,500.00

Date Received	Due Date	Check Number	Net Assessed	Amount Received	Series 2021 Debt Service
12/1/21	11/1/21	60563	$191,250.00	$191,250.00	$191,250.00
2/18/22	2/1/22	61986	$95,625.00	$95,625.00	$95,625.00
5/9/22	5/1/22	63210	$95,625.00	$95,625.00	$95,625.00
			$ 382,500.00	**$ 382,500.00**	**$ 382,500.00**

SECTION 2

EXHIBIT B

FORM OF REQUISITION 2021 ACQUISITION AND CONSTRUCTION ACCOUNT

Grande Pines Community Development District
Orange County, Florida

U.S. Ban1‹National Association, as Trustee
Orlando, Florida

GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT
SPECIAL ASSESSMENT REVENUE BONDS, SERIES 2021
(ASSESSMENT AREA ONE)

The undersigned, a Responsible Officer of the Grande Pines Community Development District (the "District") hereby submits the following requisition for disbursement under and pursuant to the terms of the Master Trust Indenture between the Disoict and U.S. Bank National Association, as trustee (the "Trustee"), dated as of March 1, 2021, as supplemented by that certain First Supplemental Trust Indenture dated as of March 1, 2021 (collectively, the "Indenture") (all capitalized terms used herein shall have the meaning ascribed to such term in the Indenture);

(A) Requisition Number; 8

(B) Name of Payee; Park Square Grande Pines, LLC

(C) Amount Payable; $ 2,127,711.46

(D) Purpose for which paid or incurred (refer also to specific contract if amount is due and payable pursuant to a contract involving progress payments):

1. Construction Costs – Grande Pines Phase 1 Infrastructure

(E) Account from which disbursement to be made: 2021 Acquisition and Construction Account

The undersigned hereby certifies that:

1. obligations in the stated amount set forth above have been incurred by the District;

2, each disbursement set forth above is a proper charge against the Account referenced in "E" above;

3. each disbursement set forth above was incurred in connection with the Cost of the Assessment Area One Capital Improvement Program;

4. each disbursement represents a Cost of the Assessment Area One Capital Improvement Program which has not previously been paid; and

5. the costs set forth in the requisition are reasonable.

The undersigned hereby further certifies that there has not been filed with or served upon the District notice of any lien, right to lien, or attachment upon, or claim affecting the right to receive payment of, any of the moneys payable to the Payee set forth above, which has not been released or will not be released simultaneously with the payment hereof.

The undersigned hereby further certifies that such requisition contains no item representing payment on account of any retained percentage which the District is at the date of such certificate entitled to retain.

Copies of the invoice(s) from the vendor of the property acquired or the services rendered with respect to which disbursement is hereby requested or other similar evidence of proof of payment is on file with the District.

GRANDE PINES COMMUNITY
DEVELOPMENT DISTRICT

By: Amanda Whitney
Responsible Officer

Date: 8/19/22

The undersigned District Engineer hereby certifies that; (i) this disbursement is for the Cost of the Assessment Area One Capital Improvement Program and is consistent with the report of the District Engineer, as such report has been amended or modified; (ii) that the portion of the Assessment Area One Capital Improvement Program improvements being acquired from the proceeds of the 2021 Bonds have been completed in accordance with the plans and specifications therefor; (iii) the Assessment Area One Capital Improvement Program improvements subject to this disbursement are constructed in a sound workmanlike manner and in accordance with industry standards; (iv) the purchase price being paid by the District for the Assessment Area One Capital Improvement Program improvements being acquired pursuant to this disbursement is no more than the lesser of the fair market value of such improvements and the actual cost of construction of such improvements; and (v) the plans and specifications for the Assessment Area One Capital Improvement Program improvements subject to this disbursement have been approved by all Regulatory Bodies required to approve them.

CHRISTIAN A. SLATER
LICENSED
NO. 67547
STATE OF FLORIDA
PROFESSIONAL ENGINEER

District Engineer 8/19/22

52755415.15

Grande Pines
Community Development District
Assessment Area One
Acquisition & Requisition No. 8

Orange County, Florida

Prepared For

Park Square Homes
5200 Vineland Road, Suite 200
Orlando, FL 32811

Date
August 17, 2022

POULOS & BENNETT

2602 E. Livingston St. | Orlando, Florida 32803 | Tel: 407.487.2594 | www.poulosandbennett.com
FBPE Certificate of Authorization No. 2856

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Section 1 ***Requisition No. 8***

Requisition No. 8 for Disbursement
Requisition No. 8 Summary
Table 1: Wal-Rose, Inc. Pay Application #20/
Summary of % CDD Reimbursable & % Applicable Requisition 8

Section 2 ***Exhibits***

Exhibit 15 Assessment Area Exhibit
Exhibits A: Wal-Rose, Inc. Pay Applications
Exhibits B: Wal-Rose, Inc. Lein Releases

Section 3 ***Supplemental Documents***

Exhibit C: Paradiso Grande (f.k.a. Grande Pines) Phase 1 Recorded Plat
Exhibit D: Grande Pines Orangewood N-2 PD Parcel 11D Phase 1 Approved Construction Plans

Section 4 ***Bill of Sale Infrastructure***

Exhibit E: Bill of Sale – Grande Pines Phase 1- Park Square Homes
Exhibit F: Bill of Sale – Grande Pines Phase 1- CDD

Section 1
Requisition No. 8

REQUISITION NO. 8 SUMMARY

Grande Pines Community Development District (CDD) Acquisition & Requisition Request No. 8 is detailed in the following report. Requisition No. 8 includes Assessment Area One, more specifically, CDD lands located within, Area One, Paradiso Grande Phase 1 (f.k.a Grande Pines Phase 1), as recorded in Plat book 17 Page 81-87 (Exhibit C)

Requisition No. 8 includes reimbursement request to Park Square Homes, LLC for Assessment Area One Estimated Costs, per Exhibit 16 of the CDD Engineer's Report. The reimbursement request relates to Grande Pines including the following:

- Construction Costs (See Exhibit A)
    - Grande Pines Phase 1 Infrastructure

Please note Table 1 and the Exhibits referenced above provide additional details on costs, scope, and percentage of applicable costs which applies to CDD Assessment Area One. In addition, the approved construction plans associated with the Grande Pines Phase 1 infrastructure construction are provided as Exhibit D.

Table 1 provides a summary of the percentage that is reimbursable based on CDD infrastructure related to the Grande Pines Phase 1 utilities construction and site grading. At the time of this report, Orange County has not issued Certification of Completion; Orange County Utilities Certificate of Completion is pending approval. Requisition No. 8 includes a portion of the construction costs paid by Park Square Homes, LLC to Wal-Rose, Inc. based on Pay Applications reviewed by Poulos & Bennett.

Table 1

Grande Pines Community Development District

Summary of % CDD Reimbursable % Applicable Requisition #8

Wal-Rose, Inc. Pay Application #20 20-001 Grande Pines Phase 1		*CDD Requisition 8*		
Description	*Amount*	*% CDD Reimbursable*	*% Requisition #8*	*Amount*
Certified As-Builts	$ 5,900.00	100%	90%	$ 5,310.00
Construction Survey & Layout	$ 15,000.00	100%	90%	$ 13,500.00
Floating Turbidity Barrier	$ 1,980.00	100%	90%	$ 1,782.00
Mobilization	$ 30,649.12	100%	90%	$ 27,584.21
MOT - Maintanance of Traffic	$ 10,500.00	100%	90%	$ 9,450.00
Permit - SWPPP	$ 8,725.00	100%	90%	$ 7,852.50
Inlet Protection	$ 1,122.00	100%	90%	$ 1,009.80
Silt Fence Double Wall Installation 4195lf @2.20[4]	$ 9,229.00	24%	90%	$ 1,993.46
Silt Fence Installation 18865lf @ 1.10[4]	$ 20,751.50	26%	90%	$ 4,855.85
Type 1 Construction Entrance	$ 5,595.95	100%	90%	$ 5,036.36
Bahia Sod Install - 2' to BOC 278sy @ 2.65	$ 736.70	100%	90%	$ 663.03
Bahia Sod Install - Open Tracts 3077sy @ 2.65[5]	$ 8,154.05	0%	90%	$ -
Bahia Sod Install - Pond Areas 33324sy @ 2.65	$ 88,308.60	100%	90%	$ 79,477.74
Clear & Grub & Disk 106.9ac @ 1444.02[3]	$ 154,365.74	13%	90%	$ 17,366.15
Earthwork - Dewatering	$ 138,923.00	100%	90%	$ 125,030.70
Excavation - Cut to Fill Ph 1&2 143873cy @ 3.85[1]	$ 553,911.05	21%	90%	$ 104,689.19
Excavation - Dry Pond 11600cy @ 4.20	$ 48,720.00	0%	90%	$ -
Excavation - Stock Pile 123108cy @ 3.05	$ 375,479.40	0%	90%	$ -
Grading - Building Pads 9006sy @ .60	$ 5,403.60	0%	90%	$ -
Grading - ROW 6806sy @ .60	$ 4,083.60	100%	90%	$ 3,675.24
Seed & Fertilization Installation Ph3&4 246840sy @ .50	$ 123,420.00	0%	90%	$ -
Seed and Mulch Common tracs 35959sy @ .50[2]	$ 17,979.50	38%	90%	$ 6,084.26
Sanitary Sewer MH 0-6' 2 @ 3980.50	$ 7,961.00	100%	90%	$ 7,164.90
Sanitary Sewer MH 6-8' 2 @ 4239.85	$ 8,479.70	100%	90%	$ 7,631.73
Sanitary Sewer MH 8-10' lined 2 @ 8912.95	$ 17,825.90	100%	90%	$ 16,043.31
Sanitary Sewer MH 10-12' 2 @ 5165.00	$ 10,330.00	100%	90%	$ 9,297.00
Sanitary Sewer Pipe 8DR18 1422lf @ 20.40	$ 29,008.80	100%	90%	$ 26,107.92
Reclain Pipe 12DR18 1264lf @ 35.70	$ 45,124.80	100%	90%	$ 40,612.32
Sanitary Sewer Pipe 8DR26 0-6' 396lf @ 16.45	$ 6,514.20	100%	90%	$ 5,862.78
Sanitary Sewer Pipe 8DR26 6-8' 424lf @ 17.90	$ 7,589.60	100%	90%	$ 6,830.64
Sanitary Sewer Pipe 8DR26 8-10' 356lf @ 19.80	$ 7,048.80	100%	90%	$ 6,343.92
Sanitary Sewer Pipe 10DR26 10-12' 60lf @ 27.60	$ 1,656.00	100%	90%	$ 1,490.40
Sanitary Sewer - Connect to existing forcemain	$ 10,320.05	100%	90%	$ 9,288.05
Sanitary Sewer - ARV	$ 5,986.85	100%	90%	$ 5,388.17
Sanitary - Clean, Flush and Video 1236lf @ 6.80	$ 8,404.80	100%	90%	$ 7,564.32
Sanitary Sewer - Dewatering	$ 13,692.00	100%	90%	$ 12,322.80
Sanitary Sewer Double Services 4 @ 624.85	$ 2,499.40	0%	90%	$ -
Sanitary Sewer - Forcemain Fittings	$ 10,688.50	100%	90%	$ 9,619.65
Sanitary Sewer - Forcemain Testing 1422lf @ 1.25	$ 1,777.50	100%	90%	$ 1,599.75
Sanitary Sewer Single Service 3 @ 558.50	$ 1,675.50	0%	90%	$ -
On-Site Lift Station - Misc Ftgs	$ 272,781.60	100%	90%	$ 245,503.44
Storm - 18" Flared end Section	$ 1,632.80	100%	90%	$ 1,469.52
Storm - 24" Flared end Section	$ 3,759.20	100%	90%	$ 3,383.28
Storm - 36" Flared end Section	$ 2,450.25	100%	90%	$ 2,205.23
Storm - 42" Flared end Section	$ 3,855.15	100%	90%	$ 3,469.64
Storm - 48" Flared end Section	$ 4,648.70	100%	90%	$ 4,183.83
Storm J3 Inlet 2 @ 7562.00	$ 15,124.00	100%	90%	$ 13,611.60
Storm J7 Inlet	$ 3,463.80	100%	90%	$ 3,117.42
Storm J7 Inlet > 10	$ 4,006.00	100%	90%	$ 3,605.40
Storm P1 Inlet < 10	$ 5,126.45	100%	90%	$ 4,613.81
Storm P1 Inlet > 10	$ 6,245.60	100%	90%	$ 5,621.04
Storm P2 Inlet	$ 6,064.95	100%	90%	$ 5,458.46
Storm P4 Inlet 3 @4252.90	$ 12,758.70	100%	90%	$ 11,482.83
Storm P4 Inlet > 10 2 @ 5391.90	$ 10,783.80	100%	90%	$ 9,705.42
Storm P7 Inlet 7 @ 2709.05	$ 18,963.35	100%	90%	$ 17,067.02
Storm P7 Inlet > 10 2 @ 3538.90	$ 7,077.80	100%	90%	$ 6,370.02
Storm V Inlet	$ 4,240.10	100%	90%	$ 3,816.09
Storm - H Control Structure 2 @ 11079.35	$ 22,158.70	100%	90%	$ 19,942.83
Storm Pipe 15RCP 46lf @ 29.550	$ 1,357.00	100%	90%	$ 1,221.30
Storm Pipe 18RCP 518lf @ 34.25	$ 17,741.50	100%	90%	$ 15,967.35
Storm Pipe 24RCP 1210lf @ 50.90	$ 61,589.00	100%	90%	$ 55,430.10

Table 1

Grande Pines Community Development District

Summary of % CDD Reimbursable % Applicable Requisition #8

Wal-Rose, Inc. Pay Application #20 20-001 Grande Pines Phase 1		*CDD Requisition 8*		
Description	*Amount*	*% CDD Reimbursable*	*% Requisition #8*	*Amount*
Storm Pipe 36RCP 220lf @ 84.90	$ 18,678.00	100%	90%	$ 16,810.20
Storm Pipe 42RCP 90lf @ 122.30	$ 11,007.00	100%	90%	$ 9,906.30
Storm Pipe 48RCP 309lf @ 144.80	$ 44,743.20	100%	90%	$ 40,268.88
Storm Pipe - 12" x 18" ERCP 35lf @ 45.00	$ 1,575.00	100%	90%	$ 1,417.50
Storm - Clean Light 2428lf @ 3.30	$ 8,012.40	100%	90%	$ 7,211.16
Storm - Dewatering	$ 5,328.00	100%	90%	$ 4,795.20
Water - 12" DR 11 Directional Pipe 165lf @ 198.00	$ 32,670.00	100%	90%	$ 29,403.00
Water - 8" Gate Valves 6 @ 1802.25	$ 10,813.50	100%	90%	$ 9,732.15
Water - 12" Gate Valves	$ 3,191.55	100%	90%	$ 2,872.40
Water - 8DR18 1065lf @ 20.45	$ 21,779.25	100%	90%	$ 19,601.33
Water - 12DR18 Main 850lf @ 35.70	$ 30,345.00	100%	90%	$ 27,310.50
Water - Blow Off Assembly 3 @ 1305.45	$ 3,916.35	100%	90%	$ 3,524.72
Water - Double Services 5 @ 608.	$ 3,040.00	0%	90%	$ -
Water - Fire Hydrants 3 @ 4550.85	$ 13,652.55	100%	90%	$ 12,287.30
Water Misc Ftgs	$ 10,984.25	100%	90%	$ 9,885.83
Water - Single Services 3 @ 608.	$ 1,824.00	0%	90%	$ -
Water - Temporary Jumper	$ 1,340.10	100%	90%	$ 1,206.09
Water - Testing & Chlorination 2080lf @ 3.30	$ 6,864.00	100%	90%	$ 6,177.60
Water - Tie into Existing	$ 10,484.90	100%	90%	$ 9,436.41
Reclaim - 12" DR11 Directional pipe 60lf @ 198.00	$ 11,880.00	100%	90%	$ 10,692.00
Reclaim - 6" Gate Valves 4 @ 1240.55	$ 4,962.20	100%	90%	$ 4,465.98
Reclaim - 8" Gate Valves 2 @ 1742.60	$ 3,485.20	100%	90%	$ 3,136.68
Reclaim - 12" Gate Valves 2 @ 3156.22	$ 6,312.44	100%	90%	$ 5,681.20
Reclaim - 6DR18 437lf @ 19.15	$ 8,368.55	100%	90%	$ 7,531.70
Reclaim - 8DR18 200lf @ 20.30	$ 4,060.00	100%	90%	$ 3,654.00
Reclaim - Water Blow Off Assembly 5 @ 1305.45	$ 6,527.25	100%	90%	$ 5,874.53
Reclaim - Connect to Main 24" Existing	$ 10,484.85	100%	90%	$ 9,436.37
Reclaim - Double Services 4 @ 608.	$ 2,432.00	0%	90%	$ -
Reclaim Misc Ftgs	$ 17,853.70	100%	90%	$ 16,068.33
Reclaim - Single Services 4 @ 608	$ 2,432.00	0%	90%	$ -
Reclaim - Test main Services 1961lf @ 1.20	$ 2,353.20	100%	90%	$ 2,117.88
Compacted Subgrade 12" 8693sy @ 2.20	$ 19,124.60	100%	90%	$ 17,212.14
Soil Cement Base - 6" 2867sy @ 15.90	$ 45,585.30	100%	90%	$ 41,026.77
Soil Cement Base - 8" 4282sy @ 20.00	$ 85,640.00	100%	90%	$ 77,076.00
Soil Cement Base - 10" 628sy @ 29.90	$ 18,777.20	100%	90%	$ 16,899.48
Stabilized Subgrade - 6" 2095sy @ 4.20	$ 8,799.00	100%	90%	$ 7,919.10
Stabilized Subgrade - 10" 3414sy @ 5.40	$ 18,435.60	100%	90%	$ 16,592.04
Stabilized Subgrade - 12" 743sy @ 9.45	$ 7,021.35	100%	90%	$ 6,319.22
Curb Miami 2238lf @ 16.50	$ 36,927.00	100%	90%	$ 33,234.30
Curb Ribbon 12" 332lf @ 15.20	$ 5,046.40	100%	90%	$ 4,541.76
Curb - Type A Median 1042lf @ 16.50	$ 17,193.00	100%	90%	$ 15,473.70
Curb - Type E 346lf @ 21.10	$ 7,300.60	100%	90%	$ 6,570.54
Curb - Type "F" FDOT 1340lf @ 18.40	$ 24,656.00	100%	90%	$ 22,190.40
Driveway Apron - 6" 56sy @ 47.50	$ 2,802.50	100%	90%	$ 2,522.25
Hdcp Ramp w/ada @ 4' 6 @ 833.35	$ 5,000.10	100%	90%	$ 4,500.09
Hdcp Ramp w/ada @ 5' 2 @ 1058.55	$ 2,117.10	100%	90%	$ 1,905.39
Sidewalk - Concrete 4' x 4" 1542lf @ 19.00	$ 29,298.00	100%	90%	$ 26,368.20
Sidewalk - Concrete 4' x 6" 14lf @ 21.10	$ 295.40	100%	90%	$ 265.86
Sidewalk - Concrete 5' x 4" 1308lf @ 23.75	$ 31,065.00	100%	90%	$ 27,958.50
Sidewalk - Concrete 5' x 6" 28lf @ 26.40	$ 739.20	100%	90%	$ 665.28
Valley Gutter - 3' 109lf @ 19.80	$ 2,158.20	100%	90%	$ 1,942.38
Striping & Signage	$ 9,170.85	100%	90%	$ 8,253.77
Asphalt - 3" 628sy @ 20.60	$ 12,936.80	100%	90%	$ 11,643.12
Asphalt FC12.5 1.5" 1228sy @ 15.65	$ 19,218.20	100%	90%	$ 17,296.38
Asphalt SP9.5 FDOT - 1.25" 2867sy @ 8.70	$ 24,942.90	100%	90%	$ 22,448.61
Asphalt SP12.5 1 1/2" 4282sy @ 10.30	$ 44,104.60	100%	90%	$ 39,694.14
SUBTOTAL:	**$ 3,111,105.00**		Subtotal:	$ 1,736,798.35

Table 1
Grande Pines Community Development District
Summary of % CDD Reimbursable % Applicable Requisition #8

Wal-Rose, Inc. Pay Application #20 20-001 Grande Pines Phase 1			*CDD Requisition 8*		
Description	*Amount*		*% CDD Reimbursable*	*% Requisition #8*	*Amount*
Change Orders					
PCCO#001					
PCO#001					
210 Earthwork-Excavation - Cut to Fill.O Excavation - Cut to Fill.Other Cut to fill -859cy	$ (3,307.15)		0%	90%	$ -
210 Earthwork-Excavation - Stock Pile.O Excavation - Stock Pile.Other Cut to stockpile -2122cy	$ (6,472.10)		0%	90%	$ -
210 Earthwork-Grading - Building Pads.O Grading - Building Pads.Other Grade Tract 1 6536sy	$ 3,921.60		0%	90%	$ -
210 Earthwork-Grading - ROW.O Grading - ROW.Other Grade ROWs -1143sy	$ (685.80)		100%	90%	$ (617.22)
210 Earthwork-Bahia Sod - 2' to BOC.O Bahia Sod Install - 2' to BOC.OtherSod 2' BOC -40sy	$ (106.00)		100%	90%	$ (95.40)
210 Earthwork-Seed Mulch Common ttracts.O Seed and Mulch Common tracts.Other Seed & mulch Phases 1 & 2 212310sy	$ 63,693.00		0%	90%	$ -
210 Earthwork-Seed Mulch Common ttracts.O Seed and Mulch Common tracts.Other Seed & mulch Phsaes 3, 4 & 5 247856sy	$ 74,356.80		0%	90%	$ -
210 Earthwork-Seed Mulch Common ttracts.O Seed and Mulch Common tracts.Other Seed & mulch PH 3 & 4 - 246840sy	$ (123,420.00)		0%	90%	$ -
210 Earthwork-Bahia Sod - Open Tracts.O Bahia Sod Install - Open Tracts.Other Sod Common areas -286sy[5]	$ (757.90)		0%	90%	$ -
260.20 Concrete-Curb - Type A Median.O Curb - Type A Median.Other Type A curb 72lf	$ 1,188.00		100%	90%	$ 1,069.20
260.20 Concrete-Curb - Drop.0 Curb - Drop.OtherType D curb 240lf	$ 3,648.00		100%	90%	$ 3,283.20
260.20 Concrete-Curb Type E.O Curb - Type E.Other Type E curb 26lf	$ 548.60		100%	90%	$ 493.74
260.20 Concrete-Curb - Type F.O Curb - Type "F" FDOT.Other Type F curb 418lf	$ 7,691.20		100%	90%	$ 6,922.08
260.20 Concrete-Curb - Miami.O Curb - Miami.Other Miami curb 16lf	$ 264.00		100%	90%	$ 237.60
260.20 Concrete-Curb - Ribbon 12".0 Curb - Ribbon 12".Other 1' ribbon curb -284lf	$ (4,316.80)		100%	90%	$ (3,885.12)
260.20 Concrete-Valley Gutter - 3'.O Valley Gutter - 3'.Other 3' valley gutter -34lf	$ (673.20)		100%	90%	$ (605.88)
260.20 Concrete-Sidewalk - Concrete 54-Sidewalk-Concrete 54 5' x 4".O Sidewalk-Concrete 54 5' x 4".Other 5'x4" sidewalk 394lf	$ 9,357.50		100%	90%	$ 8,421.75
260.20 Concrete-Sidewalk - Concrete 44.O Sidewalk Concrete 4' x 4".Other 4'x4" sidewalk -102lf	$ (1,938.00)		100%	90%	$ (1,744.20)
260.20 Concrete-Sidewalk - Concrete 56.O Sidewalk Concrete 5' x 6".Other 5'x6" sidewalk -4lf	$ (105.60)		100%	90%	$ (95.04)
260.20 Concrete-Hdcp Ramp w/ ADA Mat-Hdcp Ramp w/ada Mat 4'.0 Hdcp Ramp w/ada Mat 4'.Other 4' ADA ramp -2	$ (1,666.70)		100%	90%	$ (1,500.03)
260.20 Concrete-Driveway Apron - 6".O Driveway Apron - 6".Other 6" concrete apron -10sy	$ (475.00)		100%	90%	$ (427.50)
260.10 Base-Compacted Subgrade 12".O Compacted Subgrade 12".Other 12" compacted subgrade 635sy	$ 1,365.25		100%	90%	$ 1,228.73
260.10 Base-Stabilized Subgrade - 6".O Stabilized Subgrade - 6".Other 6" stabilized curb pad 370sy	$ 1,554.00		100%	90%	$ 1,398.60
260.10 Base-Stabilized Subgrade- 10.O Stabilized Subgrade - 10".Other 10" stabilized access -3414sy	$ (18,435.60)		100%	90%	$ (16,592.04)
260.10 Base-Stabilized Subgrade - 6".O Stabilized Subgrade - 6".Other Stabilized access (6" subgrade, 2" recycled concrete) 2920sy	$ 33,872.00		100%	90%	$ 30,484.80
260.10 Base-Stabilized Subgrade - 12.O Stabilized Subgrade - 12".Other 12" stabilized subgrade 122sy	$ 1,152.90		100%	90%	$ 1,037.61

Table 1

Grande Pines Community Development District

Summary of % CDD Reimbursable % Applicable Requisition #8

Wal-Rose, Inc. Pay Application #20 20-001 Grande Pines Phase 1			***CDD Requisition 8***		
Description	*Amount*		*% CDD Reimbursable*	*% Requisition #8*	*Amount*
260.10 Base-Soit Cement Base - 6".O Soit Cement Base - 6".Other 6" soit cement base 293sy	$ 4,658.70		100%	90%	$ 4,192.83
260.10 Base-Soil Cement Base - 8".O Soil Cement Base - 8".Other 8" soil cement base 200sy	$ 4,000.00		100%	90%	$ 3,600.00
260.10 Base-Soit Cement Base - 10".O Soit Cement Base - 10".Other 10" soit cement base -52sy	$ (1,554.80)		100%	90%	$ (1,399.32)
260.30 Asphalt-Asphalt SP9.5 FDOT - 1.2.O Asphalt SP9.5 FDOT - 1.25".Other 1.25" SP-9.5 asphalt 293sy	$ 2,549.10		100%	90%	$ 2,294.19
260.30 Asphalt-Asphalt SP12.5 112.O Asphalt SP12.5 1 1/2".Other 1°/«" SP-12.5 asphalt 200sy	$ 2,060.00		100%	90%	$ 1,854.00
260.30 Asphalt-Asphalt 3.O Asphalt - 3".Other 3" Type s asphalt -52sy	$ (1,071.20)		100%	90%	$ (964.08)
260.30 Asphalt-Asphalt FC12.5 1.5".O Asphalt FC12.5 1.5".Other 1'/«" SFC-12.5 asphalt 1203sy	$ 18,826.95		100%	90%	$ 16,944.26
260.25 Striping & Signage-Striping and Signage.O Striping and Signage.Other Signs & striping	$ 1,099.50		100%	90%	$ 989.55
230.20 Storm RCP-Storm Pipe 1218ERCP.O Storm Pipe - 12" x 18" ERCP.Other 12"x18" RGP -35lf	$ (1,575.00)		100%	90%	$ (1,417.50)
230.20 Storm RCP-Storm Pipe 15RGP.O Storm Pipe 15RCP.Other 15" RCP -11 If	$ (324.50)		100%	90%	$ (292.05)
230.20 Storm RCP-Storm Pipe 18RCP.0 Storm Pipe 18RCP.Other 18" RCP 10If	$ 342.50		100%	90%	$ 308.25
230.20 Storm RCP-Storm Pipe 24RCP.O Storm Pipe 24RCP.Other 24" RCP -519lf	$ (26,417.10)		100%	90%	$ (23,775.39)
230.20 Storm RCP-Storm Pipe 30RCP.O Storm Pipe 30RCP.Other 30" RCP 389lf	$ 27,794.05		100%	90%	$ 25,014.65
230.20 Storm RCP-Storm Pipe 36RCP.O Storm Pipe 36RCP.Other 36" RCP 38If	$ 3,226.20		100%	90%	$ 2,903.58
230.20 Storm RCP-Storm Pipe 42RCP.O Storm Pipe 42RCP.Other 42" RCP 166If	$ 20,301.80		100%	90%	$ 18,271.62
230.20 Storm RCP-Storm Pipe 48RCP.O Storm Pipe 48RCP.Other 48" RCP -200If	$ (28,960.00)		100%	90%	$ (26,064.00)
230.99 Storm - Misc-Storm Misc Ftgs.O Storm Misc Ftgs.Other 38" x 60” ERCP 200If	$ 38,460.00		100%	90%	$ 34,614.00
230.3 Storm - FES-Storm 18FES.O Storm - 18" Flared End Section.Other 18" FES -1	$ (816.40)		100%	90%	$ (734.76)
230.3 Storm - FES-Storm 24FES.O Storm - 24" Flared End Section.Other 24" FES -1	$ (939.80)		100%	90%	$ (845.82)
230.3 Storm - FES-Storm 42FES.O Storm - 42" Flared End Section.Other 42" FES 1	$ 3,855.15		100%	90%	$ 3,469.64
230.3 Storm - FES-Storm 48FES.O Storm - 48" Flared End Section.Other 48” FES -1	$ (4,648.70)		100%	90%	$ (4,183.83)
230.4 Storm MES-Storm 48MES.O Storm - 48" Mitered End Section.Other 48" MES 1	$ 3,707.45		100%	90%	$ 3,336.71
230.99 Storm - Misc-Storm Misc Ftgs.O Storm Misc Ftgs.Other 38" X 60" FES 1	$ 4,533.50		100%	90%	$ 4,080.15
230.99 Storm - Misc-Storm Misc Ftgs.O Storm Misc Ftgs.Other 18" Pipe Plug 1	$ 250.00		100%	90%	$ 225.00
230.6 Storm Inlet and Tops-Storm P1 Inlet <10.0 Storm P1 Inlet «10.Other PI inlet < 10' -1	$ (5,126.45)		100%	90%	$ (4,613.81)
230.6 Storm Inlet and Tops-Storm P1 Inlet »10.0 Storm P1 Inlet »10.Other P1 nlet > 10’ -1	$ (6,245.60)		100%	90%	$ (5,621.04)
230.6 Storm Inlet and Tops-Storm P1 Inlet <10.O Storm P1 Inlet «10.Other P1 inlet 2	$ 11,449.40		100%	90%	$ 10,304.46
230.6 Storm Inlet and Tops-Storm P2 Inlet.O Storm P2 Inlet «10.Other P2 inlet < 10’ -1	$ (6,064.95)		100%	90%	$ (5,458.46)
230.6 Storm Inlet and Tops-Storm P2 Inlet.O Storm P2 Inlet <10.Other P2 inlet 1	$ 6,474.00		100%	90%	$ 5,826.60
230.6 Storm Inlet and Tops-Storm P4 Inlet.O Storm P4 Inlet <10.Other P4 inlet <10' -3	$ (12,758.70)		100%	90%	$ (11,482.83)

Table 1
Grande Pines Community Development District
Summary of % CDD Reimbursable % Applicable Requisition #8

Wal-Rose, Inc. Pay Application #20 20-001 Grande Pines Phase 1			*CDD Requisition 8*		
Description	*Amount*		*% CDD Reimbursable*	*% Requisition #8*	*Amount*
230.6 Storm Inlet and Tops-Storm P4 Inlet >10.O Storm P4 Inlet »10.Other P4 inlet >10’ -2	$ (10,783.80)		100%	90%	$ (9,705.42)
230.6 Storm Inlet and Tops-Storm P4 Inlet.O Storm P4 Inlet <10.Other P4 inlet 3	$ 14,254.20		100%	90%	$ 12,828.78
230.6 Storm Inlet and Tops-Storm J3 Inlet.O Storm J3 Inlet <10.Other J3 inlet < 10' -2	$ (15,124.00)		100%	90%	$ (13,611.60)
230.6 Storm Inlet and Tops-Storm J3 Inlet.O Storm J3 Inlet <10.Other J3 inlet « 10' 2	$ 16,235.30		100%	90%	$ 14,611.77
230.6 Storm Inlet and Tops-Storm J4 Inlet.O Storm J4 Inlet <10.Other J4 inlet 2	$ 14,351.90		100%	90%	$ 12,916.71
230.6 Storm Inlet and Tops-Storm P7 Inlet.O Storm P7 Inlet «10.Other P7 MH < 10’ -7	$ (18,963.35)		100%	90%	$ (17,067.02)
230.6 Storm Inlet and Tops-Storm P7 Inlet »10.O Storm P7 Inlet »10.Other P7 MH » 10' -2	$ (7,077.80)		100%	90%	$ (6,370.02)
230.6 Storm Inlet and Tops-Storm P7 Inlet.O Storm P7 Inlet <10.Other P7 MH 8	$ 22,880.00		100%	90%	$ 20,592.00
230.6 Storm Inlet and Tops-Storm J7 Inlet.O Storm J7 Inlet <10.Other J7 MH < 10' -1	$ (3,463.80)		100%	90%	$ (3,117.42)
230.6 Storm Inlet and Tops-Storm J7 Inlet »10.O Storm J7 Inlet »10.Other J7 MH » 10' -1	$ (4,006.00)		100%	90%	$ (3,605.40)
230.6 Storm Inlet and Tops-Storm J7 Inlet.O Storm J7 Inlet <10.Other J7 MH 3	$ 12,996.00		100%	90%	$ 11,696.40
230.6 Storm Inlet and Tops-Storm V Inlet.0 Storm V Inlet.Other V inlet -1	$ (4,240.10)		100%	90%	$ (3,816.09)
230.8 Storm MH-Storm H Control.O Storm - H Control Structure.Other Type H control structure -2	$ (22,158.70)		100%	90%	$ (19,942.83)
230.8 Storm MH-Storm H Control.O Storm - H Control Structure.Other Type H control structure 2	$ 22,909.40		100%	90%	$ 20,618.46
230.99 Storm - Misc-Storm - Clean Light.O Storm - Clean Light.Other Clean & inspect storm -351lf	$ (1,158.30)		100%	90%	$ (1,042.47)
220 Sanitary Sewer-Sanitary - Dewatering.O Sanitary Sewer - Dewatering.Other Dewater sanitary sewer 1	$ 1,411.00		100%	90%	$ 1,269.90
220 Sanitary Sewer-Connect to Existing Forecemain.O Sanitary Sewer - Connect to existing forcemain.Other Connect to forcemain -1	$ (579.55)		100%	90%	$ (521.60)
220 Sanitary Sewer-Sanitary Directional.O Sanitary Sewer - 4 Directional Forcemain.Other 12" directional crossing 80lf	$ 16,560.00		100%	90%	$ 14,904.00
220.91 Sanitary DR18-Sanitary Pipe 8DR18.O Sanitary Sewer Pipe 8DR18.Other 8" PVC forcemain 78lf	$ 1,591.20		100%	90%	$ 1,432.08
220.99 Sanitary - Misc-Sanitary Misc Ftgs.O Sanitary Misc Ftgs.Other 8" plug valve 2	$ 6,184.60		100%	90%	$ 5,566.14
220 Sanitary Sewer-Sanitary ARV.0 Sanitary Sewer - ARV.Other Air release valve 1	$ 9,254.45		100%	90%	$ 8,329.01
220.99 Sanitary - Misc-Sanitary Misc Ftgs.O Sanitary Misc Ftgs.Other Forcemain fittings & restraints	$ 4,238.95		100%	90%	$ 3,815.06
220 Sanitary Sewer-Sanitary - Forcemain Tes.O Sanitary Sewer - Forcemain Testing.Other Pressure test forcemain 158lf	$ 197.50		100%	90%	$ 177.75
220.92 Sanitary DR26-Sanitary Pipe 8DR26-Sanitary Sewer Pipe 8DR26 0-6.O Sanitary Sewer Pipe 8DR26 0-6'.Other 8" gravity sewer 4/6’ 251lf	$ 4,128.95		100%	90%	$ 3,716.06
220.92 Sanitary DR26-Sanitary Pipe 8DR26-Sanitary Sewer Pipe 8DR26 6-8.O Sanitary Sewer Pipe 8DR26 6-8’.Other 8" gravity sewer 6/8’ 128lf	$ 2,291.20		100%	90%	$ 2,062.08
220.92 Sanitary DR26-Sanitary Pipe 8DR26-Sanitary Sewer Pipe 8DR26 8-10.O Sanitary Sewer Pipe 8DR26 8-10’.Other 8" gravity sewer 8/10’ 285lf	$ 5,643.00		100%	90%	$ 5,078.70
220.92 Sanitary DR26-Sanitary Pipe 8DR26-Sanitary Sewer Pipe 8DR26 10-12.O Sanitary Sewer Pipe 8DR26 10-12’.Other 8" gravity sewer 10/12' 101lf	$ 2,141.20		100%	90%	$ 1,927.08

Table 1

Grande Pines Community Development District

Summary of % CDD Reimbursable % Applicable Requisition #8

Wal-Rose, Inc. Pay Application #20 20-001 Grande Pines Phase 1			*CDD Requisition 8*		
Description	*Amount*		*% CDD Reimbursable*	*% Requisition #8*	*Amount*
220.92 Sanitary DR26-Sanitary Pipe 10DR26-Sanitary Sewer Pipe 10DR26 10-12.O Sanitary Sewer Pipe 10DR26 10-12'.Other 10" gravity sewer 10/12' -60lf	$ (1,656.00)		100%	90%	$ (1,490.40)
220.92 Sanitary DR26-Sanitary Pipe 10DR26-Sanitary Pipe 10DR26 12-14.O Sanitary Pipe 10DR26 12-14.Other 10" gravity sewer 12/14' 60lf	$ 1,746.00		100%	90%	$ 1,571.40
220.10 Sanitary ManHoles-Sanitary MH 0-6'.O Sanitary Sewer MH 0-6'.Other 4' SS MH 4/6 -2	$ (7,961.00)		100%	90%	$ (7,164.90)
220.10 Sanitary ManHoles-Sanitary MH 0-6'.O Sanitary Sewer MH 0-6'.Other 4' SS MH 4/6 2	$ 7,754.20		100%	90%	$ 6,978.78
220.10 Sanitary ManHoles-Sanitary MH 6-8'.O Sanitary Sewer MH 6-8'.Other 4' SS MH 6/8' -2	$ (8,479.70)		100%	90%	$ (7,631.73)
220.10 Sanitary ManHoles-Sanitary MH 6-8'.0 Sanitary Sewer MH 6-8'.Other 4' SS MH 6/8' 2	$ 16,863.20		100%	90%	$ 15,176.88
220.10 Sanitary ManHoles-Sanitary MH 8-10'.O Sanitary Sewer MH 8-10'.Other 4' SS MH 8/10' 3	$ 12,923.55		100%	90%	$ 11,631.20
220.10 Sanitary ManHoles-Sanitary MH 8-10'.O Sanitary Sewer MH 8-10'.Other 4' SS MH 8/10' lined -2	$ (17,825.90)		100%	90%	$ (16,043.31)
220.10 Sanitary ManHoles-Sanitary MH 10-12'.0 Sanitary Sewer MH 10-12'.Other 4' SS MH 10/12' -1	$ (5,165.00)		100%	90%	$ (4,648.50)
220.10 Sanitary ManHoles-Sanitary MH 12-14'.O Sanitary Sewer MH 12-14'.Other 4' SS MH 12/14' lined 2	$ 33,167.90		100%	90%	$ 29,851.11
220 Sanitary Sewer-Sanitary MH Drop Conn.O Sanitary Sewer MH Drop Connection.Other Drop connection 3.88vf	$ 1,105.80		100%	90%	$ 995.22
220 Sanitary Sewer-Sanitary Single Services.O Sanitary Sewer Single Services.Other Single service 7ea	$ 3,909.50		0%	90%	$ -
220 Sanitary Sewer-Sanitary Double Services.0 Sanitary Sewer Double Services.Other Double service -1	$ (624.85)		0%	90%	$ -
220 Sanitary Sewer-Sanitary - Clean, Flush and Video.0 Sanitary - Clean, Flush and Video.Other Clean, test & video sanitary mains and manholes	$ 5,202.00		100%	90%	$ 4,681.80
240.99 Water - Misc-Water Tie Into Existing.O Water - Tie into Existing.Other Connect to 24" water main	$ (10,484.90)		100%	90%	$ (9,436.41)
240.99 Water - Misc-Water Tie Into Existing.O Water - Tie into Existing.Other Connect to 24" water main	$ 10,730.30		100%	90%	$ 9,657.27
240.11 Water DR11-12DR11.O Water - 12" DR 11 directional pipe.Other 12" directional crossing -165lf	$ (32,670.00)		100%	90%	$ (29,403.00)
240.91 Water DR18-Water 12DR18.O Water 12DR18.Other 12" PVC water main 245lf	$ 8,746.50		100%	90%	$ 7,871.85
240.91 Water DR18-Water 8DR18.O Water 8DR18.Other 8" PVC water main 170lf	$ 3,476.50		100%	90%	$ 3,128.85
240.99 Water - Misc-Water - Fire Hydrants.O Water - Fire Hydrants.Other Fire hydrant assembly	$ 4,550.85		100%	90%	$ 4,095.77
240.99 Water - Misc-Water Misc Ftgs.O Water Misc Ftgs.Other Fittings & restraints	$ (10,984.25)		100%	90%	$ (9,885.83)
240.99 Water - Misc-Water Misc Ftgs.O Water Misc Ftgs.Other 12" fittings & restraints	$ 18,676.10		100%	90%	$ 16,808.49
240.99 Water - Misc-Water Misc Ftgs.O Water Misc Ftgs.Other 8" fittings & restraints	$ 4,626.85		100%	90%	$ 4,164.17
240.20 Water - Gate Valves-Water - 12GV.O Water - 12" Gate Valves.Other 12" gate valve	$ 3,191.55		100%	90%	$ 2,872.40
240.20 Water - Gate Valves-Water - 8GV.O Water - 8" Gate Valves.Other 8" gate valve	$ 1,802.25		100%	90%	$ 1,622.03
240.99 Water - Misc-Water - Blow Off Assembl.O Water - Blow Off Assembly.Other 2" blow-off assembly	$ 1,305.45		100%	90%	$ 1,174.91
240.99 Water - Misc-Water - Single Services.O Water - Single Services.Other Single water service	$ 1,216.00		0%	90%	$ -
240.99 Water - Misc-Water - Testing & Chlor.O Water - Testing & Chlorination.Other Test & chlorinate 250lf	$ 825.00		100%	90%	$ 742.50

Table 1
Grande Pines Community Development District
Summary of % CDD Reimbursable % Applicable Requisition #8

Wal-Rose, Inc. Pay Application #20 20-001 Grande Pines Phase 1			*CDD Requisition 8*		
Description	*Amount*		*% CDD Reimbursable*	*% Requisition #8*	*Amount*
240.99 Water - Misc-Open Cut Repair.O Open Cut and Repair Road.Other Open cut & repair less friction course	$ 48,363.20		0%	90%	$ -
250.99 Reclaim - Misc-Reclaim Connect to Main.0 Reclaim - connect to main 24" existing.Other Connect to 24" Reclaimed main	$ (10,484.85)		100%	90%	$ (9,436.37)
250.99 Reclaim - Misc-Reclaim Connect to Main.O Reclaim - connect to main 24" existing.Other Connect to 24" Reclaimed main	$ 10,730.30		100%	90%	$ 9,657.27
250.11 Reclaim DR11-12DR11.O Reclaim - 12" DR11 Directional Pipe.Other 12" directional crossing -60lf	$ (11,880.00)		100%	90%	$ (10,692.00)
250.91 Reclaim DR18-Reclaim 12DR18.O Reclaim 12DR18.Other 12" PVC Reclaimed main 131lf	$ 4,676.70		100%	90%	$ 4,209.03
250.91 Reclaim DR18-Reclaim 6DR18.O Reclaim 6DR18.Other 6" PVC Reclaimed main 47lf	$ 900.05		100%	90%	$ 810.05
250.99 Reclaim - Misc-Reclaim Misc Ftgs.O Reclaim Misc Ftgs.Other Fittings & restraints	$ (17,853.70)		100%	90%	$ (16,068.33)
250.99 Reclaim - Misc-Reclaim Misc Ftgs.O Reclaim Misc Ftgs.Other 12" fittings & restraints	$ 20,269.95		100%	90%	$ 18,242.96
250.99 Reclaim - Misc-Reclaim Misc Ftgs.O Reclaim Misc Ftgs.Other 8" fittings & restraints	$ 1,414.95		100%	90%	$ 1,273.46
250.20 Reclaim Gate Valves-Reclaim - 12GV.O Reclaim - 12" gate valve.Other 12" gate valve	$ 3,156.22		100%	90%	$ 2,840.60
250.20 Reclaim Gate Valves-Reclaim - 8GV.O Reclaim - 8" Gate Valves.Other 8" gate valve	$ (1,742.60)		100%	90%	$ (1,568.34)
250.20 Reclaim Gate Valves-Reclaim - 6GV.O Reclaim - 6" Gate Valves.Other 6" gate valve	$ (1,240.55)		100%	90%	$ (1,116.50)
250.99 Reclaim - Misc-Reclaim - Single Service.O Reclaim - Single Services.Other Single service	$ 1,216.00		0%	90%	$ -
250.99 Reclaim - Misc-Reclaim - Double Service.O Reclaim Double Services.Other Double service	$ (608.00)		0%	90%	$ -
250.99 Reclaim - Misc-Reclaim - Test Main Serv.O Reclaim - Test Main Service.Other Testing	$ 33.60		100%	90%	$ 30.24
240.99 Water - Misc-Open Cut Repair.O Open Cut and Repair Road.Other Open cut & repair less friction course	$ 24,181.60		100%	90%	$ 21,763.44
PCCO#002					
PCO#002					
225 Lift Station-Lift Station - Misc Ftgs. O On-Site Lift Station - Misc Ftgs. Other Addtl Lift Station Wet Well	$ 22,298.35		100%	90%	$ 20,068.52
PCCO#003					
PCO#003					
100 General Conditions-MOT. O MOT - Maintenance of Traffic. Other MOT	$ 1,227.50		100%	90%	$ 1,104.75
210 Earthwork-Demolition - Sidewalk. O Demolition - Sidewalk. Other Demo & Dispose Concrete Walks 10230sy	$ 64,960.50		100%	90%	$ 58,464.45
210 Earthwork-Demolition - Pavement Tu. O Demolition - Pavement Turnouts. Other Demo & Disposal of Asphalt Pavement & Base 120sy	$ 630.00		100%	90%	$ 567.00
210 Earthwork-Demolition - Valley Gutt. O Demolition - Valley Gutter. Other Demo Base 5565sy	$ 3,617.25		100%	90%	$ 3,255.53
210 Earthwork-Demolition - Valley Gutt. O Demolition - Valley Gutter. Other Demo & Dispose of Curb 1115lf	$ 6,913.00		100%	90%	$ 6,221.70
210 Earthwork-Demolition - Valley Gutt. O Demolition - Valley Gutter. Other Demo & Dispose of Retaining Wall 1675lf	$ 38,357.50		100%	90%	$ 34,521.75
260.20 Concrete-Curb - Type F. O Curb - Type "F" FDOT. Other Type F Curb 182lf	$ 3,367.00		100%	90%	$ 3,030.30
PCCO#004					
PCO#004					

Table 1

Grande Pines Community Development District

Summary of % CDD Reimbursable % Applicable Requisition #8

Wal-Rose, Inc. Pay Application #20 20-001 Grande Pines Phase 1			***CDD Requisition 8***		
Description	*Amount*		*% CDD Reimbursable*	*% Requisition #8*	*Amount*
1-Water. O Fittings. Other 8" Line Stop	$ 7,990.45		100%	90%	$ 7,191.41
PCCO#005					
PCO#005					
220.99 Sanitary - Misc-Sanitary Misc Ftgs. O Sanitary Misc Ftgs. Other Valve Vault Size Change 72" x 96"	$ 4,312.50		100%	90%	$ 3,881.25
PCCO#006					
PCO#006					
100 General Conditions-Construction Survey & La. O Construction Survey & Layout. Other Survey Layout	$ 359.40		0%	90%	$ -
200 On-Site-Sleeve Install Service O. Service - Sleeve Install. Other 1W3" Conduit 95lf	$ 1,876.25		100%	90%	$ 1,688.63
200 On-Site-Sleeve Install Service O. Service - Sleeve Install. Other 1W3", 1W1½" Conduit 50lf	$ 1,262.50		100%	90%	$ 1,136.25
200 On-Site-Sleeve Install Service O. Service - Sleeve Install. Other 1W3", 2W1½" Conduit 65lf	$ 1,865.50		100%	90%	$ 1,678.95
200 On-Site-Sleeve Install Service O. Service - Sleeve Install. Other 2W3" Conduit 65lf	$ 1,833.00		100%	90%	$ 1,649.70
200 On-Site-Sleeve Install Service O. Service - Sleeve Install. Other 3W3" Conduit 170lf	$ 6,069.00		100%	90%	$ 5,462.10
200 On-Site-Sleeve Install Service O. Service - Sleeve Install. Other 1W2" Conduit Irrigation 150lf	$ 2,070.00		100%	90%	$ 1,863.00
200 On-Site-Sleeve Install Service O. Service - Sleeve Install. Other 1W2", 1W4" Conduit Irrigation 100lf	$ 1,865.00		100%	90%	$ 1,678.50
200 On-Site-Sleeve Install Service O. Service - Sleeve Install. Other 1W4" Duke 294lf	$ 8,055.60		100%	90%	$ 7,250.04
200 On-Site-Sleeve Install Service O. Service - Sleeve Install. Other 1W6" Duke 130lf	$ 4,790.50		100%	90%	$ 4,311.45
PCCO#007					
PCO#007					
100 General Conditions. O GENERAL CONDITIONS. Other Chip and Haul off Existing Debris[1]	$ 106,375.00		21%	90%	$ 20,104.88
PCCO#008					
PCO#008					
220.10 Sanitary ManHoles-Sanitary MH 0-6". O Sanitary Sewer MH 0-6', Other MH 3C to Drop MH	$ 4,484.25		100%	90%	$ 4,035.83
PCCO#009					
PCO#009					
210 Earthwork-Excavation - Cut to Fill.O Excavation - Cut to Fill.Other cut/fill[1]	$ 7,129.90		21%	90%	$ 1,347.55
210 Earthwork-Excavation - Cut to Fill.O Excavation - Cut to Fill.Other cut export to phase 3	$ 6,068.15		0%	90%	$ -
210 Earthwork-Grading - Building Pads.O Grading - Building Pads.Other grade amenity center	$ 10,599.00		0%	90%	$ -
Change Order Subtotal:	**$ 602,529.42**		**Change Order CDD Reimbursable Subtotal:**		**$ 390,913.11**
Pay Application #20 GRAND TOTAL:	**$ 3,713,634.42**		***Total- Construction Costs Eligible for CDD Reimbursement:***		**$ 2,127,711.46**
				Total Assessment Area 1 - Bond Amount:	**$ 6,760,000.00**
				Total Reimbursable Bond Amount Remaining:	**$ 4,632,288.54**
				Total Requisition #8:	**$ 2,127,711.46**

[1]Cut to Fill percentage calculated by taking the total cut and fill needed within the ROW of Grande Pines Phase 1 divided by the listed total

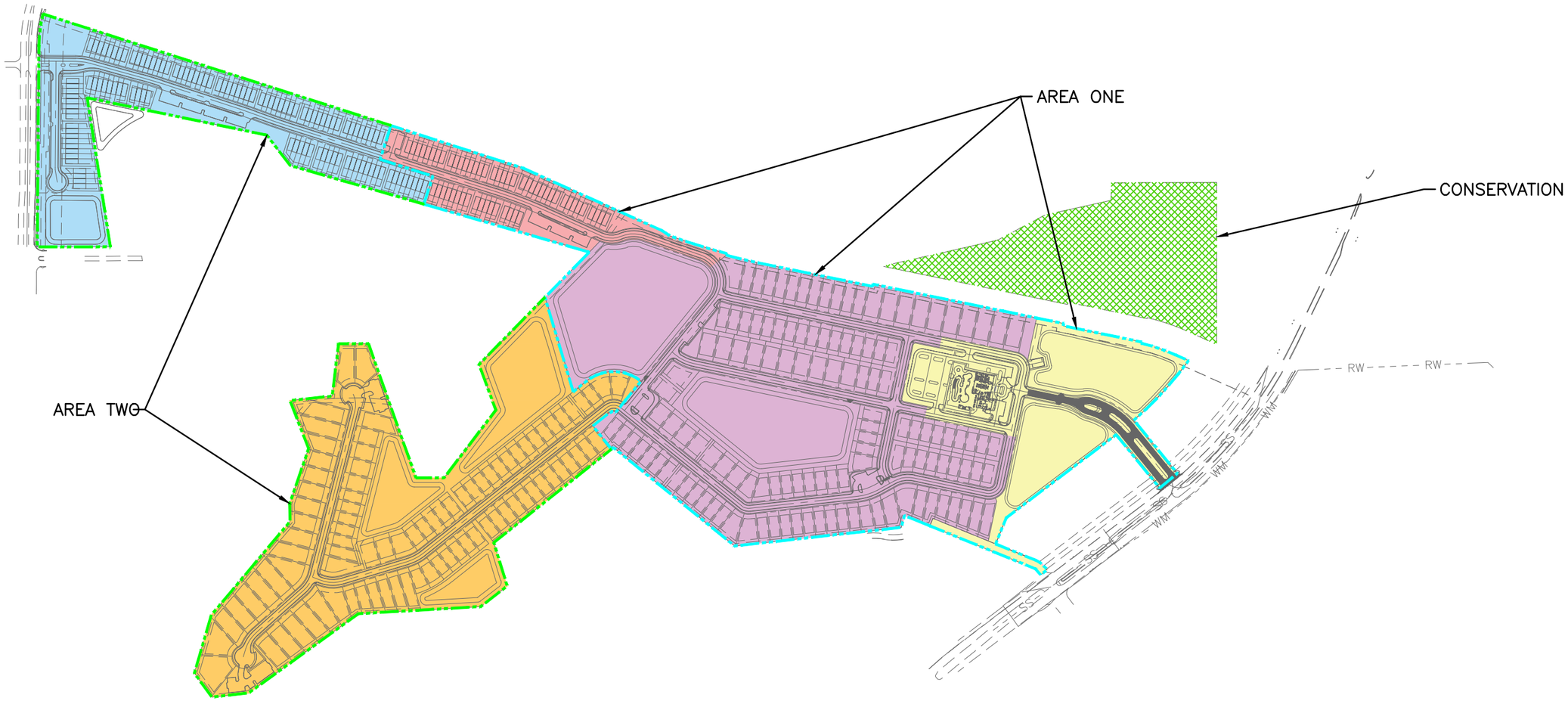
[2]Seed and Mulch common tracts, Park P-1 only

[3]Clear & Grub breakdown, using all the area in Phase 1 minus Park P-1 and Tract AE-1

[4]Silt Fence percentages calcuated using only fencing required for Phase 1

[5]Common tract Bahia is tract AE-1

Section 2
Exhibits



ASSESSMENT AREA MINIMUM LOT WIDTH						
		70'	50'	22'-23'	UNIT TOTAL	AREA
	AREA ONE	61	135	55	251	64.61 ACRES
	AREA TWO	22	56	114	192	44.72 ACRES
	PHASE 1	0	0	0	0	13.22 ACRES
	PHASE 2	61	135	0	196	30.36 ACRES
	PHASE 3	22	56	0	78	30.31 ACRES
	PHASE 4	0	0	55	55	6.49 ACRES
	PHASE 5	0	0	114	114	14.41 ACRES
	CONSERVATION	0	0	0	0	0

SOURCE:

PLANNED DEVELOPMENT/LAND USE PLAN
FOR ORANGEWOOD N-2 PD CENTRAL
FLORIDA PARKWAY & INTERNATIONAL DRIVE

ASSESSMENT AREA EXHIBIT

Grande Pines

N

250 0 250 500

SCALE IN FEET

January 6, 2020
P & B Job No.: 18-007

2602 E. Livingston St.
Orlando, Florida 32803- 407.487.2594

POULOS & BENNETT

www.poulosandbennett.com
Certificate of Authorization No. 28567

Exhibit 15

Z:\2018\18-007 PARK SQUARE - GRANDE PINES SFR\CDD\CAD\18-007 CDD ASSESSMENT AREA EXHIBIT

TO OWNER/CLIENT:

Park Square Homes
5200 Vineland Road - Suite 200
Orlando, Florida 32811

FROM CONTRACTOR:

Wal-Rose Inc
3848 Moores Station Rd
Sanford, Florida 32773

CONTRACT FOR: Grand Pines Ph1

PROJECT:

20-001 Grande Pines Ph1
Parcel# 13-24-28-6283-00-110, 13-24-28-6283-07-010, 13-24-28-6283-12-040
Orlando, Florida 32821

VIA ARCHITECT/ENGINEER:

Mike VanHorn (Poulos and Bennett LLC)

APPLICATION NO: 21
INVOICE NO: 21
PERIOD: 03/01/22 - 03/31/22
PROJECT NO:
CONTRACT DATE:

FINAL 5% RETAINAGE

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract. Continuation Sheet is attached.

1.	Original Contract Sum		$3,111,105.00
2.	Net change by change orders		$602,529.42
3.	Contract Sum to date (Line 1 ± 2)		$3,713,634.42
4.	Total completed and stored to date (Column G on detail sheet)		$3,713,634.42
5.	Retainage:		
	a. 0.00% of completed work	$0.00	
	b. 0.00% of stored material	$0.00	
	Total retainage (Line 5a + 5b or total in column I of detail sheet)		$0.00
6.	Total earned less retainage (Line 4 less Line 5 Total)		$3,713,634.42
7.	Less previous certificates for payment (Line 6 from prior certificate)		$3,527,952.85
8.	Current payment due:		$185,681.57
9.	Balance to finish, including retainage (Line 3 less Line 6)		$0.00

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner/Client:	$1,088,609.17	$(486,079.75)
Total approved this month:	$0.00	$0.00
Totals:	$1,088,609.17	$(486,079.75)
Net change by change orders:	$602,529.42	

The undersigned certifies that to the best of the Contractor's knowledge, information and belief, the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work which previous Certificates for payment were issued and payments received from the Owner/Client, and that current payments shown herein is now due.

CONTRACTOR: Wal-Rose Inc

By: Tom LaRose Date: 3-25-22

State of:
County of:
Subscribed and sworn to before me this day of
Notary Public:
My commission expires:

CHRIS SHEETS
Notary Public - State of Florida
Commission # HH 207762
My Comm. Expires Jan 16, 2026
Bonded through National Notary Assn.

ARCHITECT'S/ENGINEER'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on the on-site observations and the data comprising this application, the Architect/Engineer certifies to the Owner/Client that to the best of the Architect's/Engineer's knowledge, information and belief that Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED: $185,681.57

(Attach explanation if amount certified differs from the amount applied for. Initial all figures on this Application and on the Continuation Sheet that are changed to confirm the amount certified.)

ARCHITECT/ENGINEER:

By: Date:

This certificate is not negotiable. The amount certified is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to the rights of the Owner/Client or Contractor under this Contract.

Document SUMMARY SHEET, APPLICATION AND CERTIFICATE FOR PAYMENT, containing
Contractor's signed Certification is attached.
Use Column I on Contracts where variable retainage for line items apply.

APPLICATION NUMBER: 21
APPLICATION DATE: 3/25/2022
PERIOD: 03/01/22 - 03/31/22

Contract Lines

A	B	C	D	E	F	G		H	I
ITEM NO.	DESCRIPTION OF WORK	SCHEDULED VALUE	WORK COMPLETED		MATERIALS PRESENTLY STORED (NOT IN D OR E)	TOTAL COMPLETED AND STORED TO DATE (D + E + F)	% (G / C)	BALANCE TO FINISH (C - G)	RETAINAGE
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
1	Certified As-Builts	$5,900.00	$5,900.00	$0.00	$0.00	$5,900.00	100.00%	$0.00	$0.00
2	Construction Survey & Layout	$15,000.00	$15,000.00	$0.00	$0.00	$15,000.00	100.00%	$0.00	$0.00
3	Floating Turbidity Barrier	$1,980.00	$1,980.00	$0.00	$0.00	$1,980.00	100.00%	$0.00	$0.00
4	Mobilization	$30,649.12	$30,649.12	$0.00	$0.00	$30,649.12	100.00%	$0.00	$0.00
5	MOT - Maintenance of Traffic	$10,500.00	$10,500.00	$0.00	$0.00	$10,500.00	100.00%	$0.00	$0.00
6	Permit - SWPPP	$8,725.00	$8,725.00	$0.00	$0.00	$8,725.00	100.00%	$0.00	$0.00
7	Inlet Protection	$1,122.00	$1,122.00	$0.00	$0.00	$1,122.00	100.00%	$0.00	$0.00
8	Silt Fence Double Wall Installation 4195lf @2.20	$9,229.00	$9,229.00	$0.00	$0.00	$9,229.00	100.00%	$0.00	$0.00
9	Silt Fence Installation 18865lf @ 1.10	$20,751.50	$20,751.50	$0.00	$0.00	$20,751.50	100.00%	$0.00	$0.00
10	Type 1 Construction Entrance	$5,595.95	$5,595.95	$0.00	$0.00	$5,595.95	100.00%	$0.00	$0.00
11	Bahia Sod Install - 2' to BOC 278sy @ 2.65	$736.70	$736.70	$0.00	$0.00	$736.70	100.00%	$0.00	$0.00
12	Bahia Sod Install - Open Tracts 3077sy @ 2.65	$8,154.05	$8,154.05	$0.00	$0.00	$8,154.05	100.00%	$0.00	$0.00
13	Bahia Sod Install - Pond Areas 33324sy @ 2.65	$88,308.60	$88,308.60	$0.00	$0.00	$88,308.60	100.00%	$0.00	$0.00
14	Clear & Grub & Disk 106.9ac @ 1444.02	$154,365.74	$154,365.74	$0.00	$0.00	$154,365.74	100.00%	$0.00	$0.00
15	Earthwork - Dewatering	$138,923.00	$138,923.00	$0.00	$0.00	$138,923.00	100.00%	$0.00	$0.00
16	Excavation - Cut to Fill Ph1&2 143873cy @ 3.85	$553,911.05	$553,911.05	$0.00	$0.00	$553,911.05	100.00%	$0.00	$0.00
17	Excavation - Dry Pond 11600cy @ 4.20	$48,720.00	$48,720.00	$0.00	$0.00	$48,720.00	100.00%	$0.00	$0.00
18	Excavation - Stock Pile 123108cy @ 3.05	$375,479.40	$375,479.40	$0.00	$0.00	$375,479.40	100.00%	$0.00	$0.00
19	Grading - Building Pads 9006sy @ .60	$5,403.60	$5,403.60	$0.00	$0.00	$5,403.60	100.00%	$0.00	$0.00
20	Grading - ROW 6806sy @ .60	$4,083.60	$4,083.60	$0.00	$0.00	$4,083.60	100.00%	$0.00	$0.00
21	Seed & Fertilization Installation Ph3&4 246840sy @ .50	$123,420.00	$123,420.00	$0.00	$0.00	$123,420.00	100.00%	$0.00	$0.00
22	Seed and Mulch Common tracts 35959sy @ .50	$17,979.50	$17,979.50	$0.00	$0.00	$17,979.50	100.00%	$0.00	$0.00
23	Sanitary Sewer MH 0-6' 2 @ 3980.50	$7,961.00	$7,961.00	$0.00	$0.00	$7,961.00	100.00%	$0.00	$0.00
24	Sanitary Sewer MH 6-8' 2 @ 4239.85	$8,479.70	$8,479.70	$0.00	$0.00	$8,479.70	100.00%	$0.00	$0.00
25	Sanitary Sewer MH 8-10' lined 2 @ 8912.95	$17,825.90	$17,825.90	$0.00	$0.00	$17,825.90	100.00%	$0.00	$0.00
26	Sanitary Sewer MH 10-12' 2 @ 5165.00	$10,330.00	$10,330.00	$0.00	$0.00	$10,330.00	100.00%	$0.00	$0.00
27	Sanitary Sewer Pipe 8DR18 1422lf @ 20.40	$29,008.80	$29,008.80	$0.00	$0.00	$29,008.80	100.00%	$0.00	$0.00
28	Reclaim Pipe 12DR18 1264lf @35.70	$45,124.80	$45,124.80	$0.00	$0.00	$45,124.80	100.00%	$0.00	$0.00
29	Sanitary Sewer Pipe 8DR26 0-6' 396lf @16.45	$6,514.20	$6,514.20	$0.00	$0.00	$6,514.20	100.00%	$0.00	$0.00
30	Sanitary Sewer Pipe 8DR26 6-8' 424lf @ 17.90	$7,589.60	$7,589.60	$0.00	$0.00	$7,589.60	100.00%	$0.00	$0.00
31	Sanitary Sewer Pipe 8DR26 8-10' 356lf @ 19.80	$7,048.80	$7,048.80	$0.00	$0.00	$7,048.80	100.00%	$0.00	$0.00
32	Sanitary Sewer Pipe 10DR26 10-12' 60lf @ 27.60	$1,656.00	$1,656.00	$0.00	$0.00	$1,656.00	100.00%	$0.00	$0.00
33	Sanitary Sewer - Connect to existing forcemain	$10,320.05	$10,320.05	$0.00	$0.00	$10,320.05	100.00%	$0.00	$0.00
34	Sanitary Sewer - ARV	$5,986.85	$5,986.85	$0.00	$0.00	$5,986.85	100.00%	$0.00	$0.00

A	B	C	D	E	F	G		H	I
ITEM NO.	DESCRIPTION OF WORK	SCHEDULED VALUE	WORK COMPLETED		MATERIALS PRESENTLY STORED (NOT IN D OR E)	TOTAL COMPLETED AND STORED TO DATE (D + E + F)	% (G / C)	BALANCE TO FINISH (C - G)	RETAINAGE
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
35	Sanitary - Clean, Flush and Video 1236lf @ 6.80	$8,404.80	$8,404.80	$0.00	$0.00	$8,404.80	100.00%	$0.00	$0.00
36	Sanitary Sewer - Dewatering	$13,692.00	$13,692.00	$0.00	$0.00	$13,692.00	100.00%	$0.00	$0.00
37	Sanitary Sewer Double Services 4 @ 624.85	$2,499.40	$2,499.40	$0.00	$0.00	$2,499.40	100.00%	$0.00	$0.00
38	Sanitary Sewer - Forcemain Fittings	$10,688.50	$10,688.50	$0.00	$0.00	$10,688.50	100.00%	$0.00	$0.00
39	Sanitary Sewer - Forcemain Testing 1422lf @ 1.25	$1,777.50	$1,777.50	$0.00	$0.00	$1,777.50	100.00%	$0.00	$0.00
40	Sanitary Sewer Single Services 3 @ 558.50	$1,675.50	$1,675.50	$0.00	$0.00	$1,675.50	100.00%	$0.00	$0.00
41	On-Site Lift Station - Misc Ftgs	$272,781.60	$272,781.60	$0.00	$0.00	$272,781.60	100.00%	$0.00	$0.00
42	Storm - 18" Flared End Section	$1,632.80	$1,632.80	$0.00	$0.00	$1,632.80	100.00%	$0.00	$0.00
43	Storm - 24" Flared End Section	$3,759.20	$3,759.20	$0.00	$0.00	$3,759.20	100.00%	$0.00	$0.00
44	Storm - 36" Flared End Section	$2,450.25	$2,450.25	$0.00	$0.00	$2,450.25	100.00%	$0.00	$0.00
45	Storm - 42" Flared End Section	$3,855.15	$3,855.15	$0.00	$0.00	$3,855.15	100.00%	$0.00	$0.00
46	Storm - 48" Flared End Section	$4,648.70	$4,648.70	$0.00	$0.00	$4,648.70	100.00%	$0.00	$0.00
47	Storm J3 Inlet 2 @ 7562.00	$15,124.00	$15,124.00	$0.00	$0.00	$15,124.00	100.00%	$0.00	$0.00
48	Storm J7 Inlet	$3,463.80	$3,463.80	$0.00	$0.00	$3,463.80	100.00%	$0.00	$0.00
49	Storm J7 Inlet >10	$4,006.00	$4,006.00	$0.00	$0.00	$4,006.00	100.00%	$0.00	$0.00
50	Storm P1 Inlet <10	$5,126.45	$5,126.45	$0.00	$0.00	$5,126.45	100.00%	$0.00	$0.00
51	Storm P1 Inlet >10	$6,245.60	$6,245.60	$0.00	$0.00	$6,245.60	100.00%	$0.00	$0.00
52	Storm P2 Inlet	$6,064.95	$6,064.95	$0.00	$0.00	$6,064.95	100.00%	$0.00	$0.00
53	Storm P4 Inlet 3 @4252.90	$12,758.70	$12,758.70	$0.00	$0.00	$12,758.70	100.00%	$0.00	$0.00
54	Storm P4 Inlet >10 2 @ 5391.90	$10,783.80	$10,783.80	$0.00	$0.00	$10,783.80	100.00%	$0.00	$0.00
55	Storm P7 Inlet 7 @ 2709.05	$18,963.35	$18,963.35	$0.00	$0.00	$18,963.35	100.00%	$0.00	$0.00
56	Storm P7 Inlet >10 2 @ 3538.90	$7,077.80	$7,077.80	$0.00	$0.00	$7,077.80	100.00%	$0.00	$0.00
57	Storm V Inlet	$4,240.10	$4,240.10	$0.00	$0.00	$4,240.10	100.00%	$0.00	$0.00
58	Storm - H Control Structure 2 @ 11079.35	$22,158.70	$22,158.70	$0.00	$0.00	$22,158.70	100.00%	$0.00	$0.00
59	Storm Pipe 15RCP 46lf @ 29.550	$1,357.00	$1,357.00	$0.00	$0.00	$1,357.00	100.00%	$0.00	$0.00
60	Storm Pipe 18RCP 518lf @ 34.25	$17,741.50	$17,741.50	$0.00	$0.00	$17,741.50	100.00%	$0.00	$0.00
61	Storm Pipe 24RCP 1210lf @ 50.90	$61,589.00	$61,589.00	$0.00	$0.00	$61,589.00	100.00%	$0.00	$0.00
62	Storm Pipe 36RCP 220lf @ 84.90	$18,678.00	$18,678.00	$0.00	$0.00	$18,678.00	100.00%	$0.00	$0.00
63	Storm Pipe 42RCP 90 @ 122.30	$11,007.00	$11,007.00	$0.00	$0.00	$11,007.00	100.00%	$0.00	$0.00
64	Storm Pipe 48RCP 309 @ 144.80	$44,743.20	$44,743.20	$0.00	$0.00	$44,743.20	100.00%	$0.00	$0.00
65	Storm Pipe - 12" x 18" ERCP 35lf @ 45.00	$1,575.00	$1,575.00	$0.00	$0.00	$1,575.00	100.00%	$0.00	$0.00
66	Storm - Clean Light 2428lf @ 3.30	$8,012.40	$8,012.40	$0.00	$0.00	$8,012.40	100.00%	$0.00	$0.00
67	Storm - Dewatering	$5,328.00	$5,328.00	$0.00	$0.00	$5,328.00	100.00%	$0.00	$0.00
68	Water - 12" DR 11 directional pipe 165lf @ 198.00	$32,670.00	$32,670.00	$0.00	$0.00	$32,670.00	100.00%	$0.00	$0.00
69	Water - 8" Gate Valves 6 @ 1802.25	$10,813.50	$10,813.50	$0.00	$0.00	$10,813.50	100.00%	$0.00	$0.00
70	Water - 12" Gate Valves	$3,191.55	$3,191.55	$0.00	$0.00	$3,191.55	100.00%	$0.00	$0.00
71	Water 8DR18 1065lf @ 20.45	$21,779.25	$21,779.25	$0.00	$0.00	$21,779.25	100.00%	$0.00	$0.00
72	Water - 12DR18 Main 850lf @ 35.70	$30,345.00	$30,345.00	$0.00	$0.00	$30,345.00	100.00%	$0.00	$0.00

A	B	C	D	E	F	G		H	I
ITEM NO.	DESCRIPTION OF WORK	SCHEDULED VALUE	WORK COMPLETED		MATERIALS PRESENTLY STORED (NOT IN D OR E)	TOTAL COMPLETED AND STORED TO DATE (D + E + F)	% (G / C)	BALANCE TO FINISH (C - G)	RETAINAGE
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
73	Water - Blow Off Assembly 3 @ 1305.45	$3,916.35	$3,916.35	$0.00	$0.00	$3,916.35	100.00%	$0.00	$0.00
74	Water - Double Services 5 @ 608.	$3,040.00	$3,040.00	$0.00	$0.00	$3,040.00	100.00%	$0.00	$0.00
75	Water - Fire Hydrants 3 @ 4550.85	$13,652.55	$13,652.55	$0.00	$0.00	$13,652.55	100.00%	$0.00	$0.00
76	Water Misc Ftgs	$10,984.25	$10,984.25	$0.00	$0.00	$10,984.25	100.00%	$0.00	$0.00
77	Water - Single Services 3 @ 608.	$1,824.00	$1,824.00	$0.00	$0.00	$1,824.00	100.00%	$0.00	$0.00
78	Water - Temporary Jumper	$1,340.10	$1,340.10	$0.00	$0.00	$1,340.10	100.00%	$0.00	$0.00
79	Water - Testing & Chlorination 2080lf @ 3.30	$6,864.00	$6,864.00	$0.00	$0.00	$6,864.00	100.00%	$0.00	$0.00
80	Water - Tie into Existing	$10,484.90	$10,484.90	$0.00	$0.00	$10,484.90	100.00%	$0.00	$0.00
81	Reclaim - 12" DR11 Directional Pipe 60lf @ 198.00	$11,880.00	$11,880.00	$0.00	$0.00	$11,880.00	100.00%	$0.00	$0.00
82	Reclaim - 6" Gate Valves 4 @ 1240.55	$4,962.20	$4,962.20	$0.00	$0.00	$4,962.20	100.00%	$0.00	$0.00
83	Reclaim - 8" Gate Valves 2 @ 1742.60	$3,485.20	$3,485.20	$0.00	$0.00	$3,485.20	100.00%	$0.00	$0.00
84	Reclaim - 12" gate valve 2 @ 3156.22	$6,312.44	$6,312.44	$0.00	$0.00	$6,312.44	100.00%	$0.00	$0.00
85	Reclaim 6DR18 437lf @ 19.15	$8,368.55	$8,368.55	$0.00	$0.00	$8,368.55	100.00%	$0.00	$0.00
86	Reclaim 8DR18 200lf @ 20.30	$4,060.00	$4,060.00	$0.00	$0.00	$4,060.00	100.00%	$0.00	$0.00
87	Reclaim - Water Blow Off Assembly 5 @ 1305.45	$6,527.25	$6,527.25	$0.00	$0.00	$6,527.25	100.00%	$0.00	$0.00
88	Reclaim - connect to main 24" existing	$10,484.85	$10,484.85	$0.00	$0.00	$10,484.85	100.00%	$0.00	$0.00
89	Reclaim - Double Services 4 @ 608.	$2,432.00	$2,432.00	$0.00	$0.00	$2,432.00	100.00%	$0.00	$0.00
90	Reclaim Misc Ftgs	$17,853.70	$17,853.70	$0.00	$0.00	$17,853.70	100.00%	$0.00	$0.00
91	Reclaim - Single Services 4 @ 608.	$2,432.00	$2,432.00	$0.00	$0.00	$2,432.00	100.00%	$0.00	$0.00
92	Reclaim - Test Main Service 1961lf @ 1.20	$2,353.20	$2,353.20	$0.00	$0.00	$2,353.20	100.00%	$0.00	$0.00
93	Compacted Subgrade 12" 8693sy @ 2.20	$19,124.60	$19,124.60	$0.00	$0.00	$19,124.60	100.00%	$0.00	$0.00
94	Soil Cement Base - 6" 2867sy @ 15.90	$45,585.30	$45,585.30	$0.00	$0.00	$45,585.30	100.00%	$0.00	$0.00
95	Soil Cement Base - 8" 4282sy @ 20.00	$85,640.00	$85,640.00	$0.00	$0.00	$85,640.00	100.00%	$0.00	$0.00
96	Soil Cement Base - 10" 628sy @ 29.90	$18,777.20	$18,777.20	$0.00	$0.00	$18,777.20	100.00%	$0.00	$0.00
97	Stabilized Subgrade - 6" 2095sy @ 4.20	$8,799.00	$8,799.00	$0.00	$0.00	$8,799.00	100.00%	$0.00	$0.00
98	Stabilized Subgrade - 10" 3414sy @ 5.40	$18,435.60	$18,435.60	$0.00	$0.00	$18,435.60	100.00%	$0.00	$0.00
99	Stabilized Subgrade - 12" 743sy @ 9.45	$7,021.35	$7,021.35	$0.00	$0.00	$7,021.35	100.00%	$0.00	$0.00
100	Curb - Miami 2238lf @ 16.50	$36,927.00	$36,927.00	$0.00	$0.00	$36,927.00	100.00%	$0.00	$0.00
101	Curb - Ribbon 12" 332lf @ 15.20	$5,046.40	$5,046.40	$0.00	$0.00	$5,046.40	100.00%	$0.00	$0.00
102	Curb - Type A Median 1042lf @ 16.50	$17,193.00	$17,193.00	$0.00	$0.00	$17,193.00	100.00%	$0.00	$0.00
103	Curb - Type E 346lf @ 21.10	$7,300.60	$7,300.60	$0.00	$0.00	$7,300.60	100.00%	$0.00	$0.00
104	Curb - Type "F" FDOT 1340lf @ 18.40	$24,656.00	$24,656.00	$0.00	$0.00	$24,656.00	100.00%	$0.00	$0.00
105	Driveway Apron - 6" 59sy @ 47.50	$2,802.50	$2,802.50	$0.00	$0.00	$2,802.50	100.00%	$0.00	$0.00
106	Hdcp Ramp w/ada Mat 4' 6 @ 833.35	$5,000.10	$5,000.10	$0.00	$0.00	$5,000.10	100.00%	$0.00	$0.00
107	Hdcp Ramp w/ada Mat 5' 2 @ 1058.55	$2,117.10	$2,117.10	$0.00	$0.00	$2,117.10	100.00%	$0.00	$0.00
108	Sidewalk - Concrete 4' x 4" 1542lf @ 19.00	$29,298.00	$29,298.00	$0.00	$0.00	$29,298.00	100.00%	$0.00	$0.00
109	Sidewalk - Concrete 4' x 6" 14lf @ 21.10	$295.40	$295.40	$0.00	$0.00	$295.40	100.00%	$0.00	$0.00
110	Sidewalk - Concrete 5' x 4" 1308lf @ 23.75	$31,065.00	$31,065.00	$0.00	$0.00	$31,065.00	100.00%	$0.00	$0.00

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ITEM NO.	DESCRIPTION OF WORK	SCHEDULED VALUE	WORK COMPLETED		MATERIALS PRESENTLY STORED (NOT IN D OR E)	TOTAL COMPLETED AND STORED TO DATE (D + E + F)	% (G / C)	BALANCE TO FINISH (C - G)	RETAINAGE
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
111	Sidewalk - Concrete 5' x 6" 28lf @ 26.40	$739.20	$739.20	$0.00	$0.00	$739.20	100.00%	$0.00	$0.00
112	Valley Gutter - 3' 109lf @ 19.80	$2,158.20	$2,158.20	$0.00	$0.00	$2,158.20	100.00%	$0.00	$0.00
113	Striping & Signage	$9,170.85	$9,170.85	$0.00	$0.00	$9,170.85	100.00%	$0.00	$0.00
114	Asphalt - 3" 628sy @ 20.60	$12,936.80	$12,936.80	$0.00	$0.00	$12,936.80	100.00%	$0.00	$0.00
115	Asphalt FC12.5 1.5" 1228sy @ 15.65	$19,218.20	$19,218.20	$0.00	$0.00	$19,218.20	100.00%	$0.00	$0.00
116	Asphalt SP9.5 FDOT - 1.25" 2867sy @ 8.70	$24,942.90	$24,942.90	$0.00	$0.00	$24,942.90	100.00%	$0.00	$0.00
117	Asphalt SP12.5 1 1/2" 4282sy @ 10.30	$44,104.60	$44,104.60	$0.00	$0.00	$44,104.60	100.00%	$0.00	$0.00
	TOTALS:	**$3,111,105.00**	**$3,111,105.00**	**$0.00**	**$0.00**	**$3,111,105.00**	**100.00%**	**$0.00**	**$0.00**

Change Orders

A	B	C	D	E	F	G		H	I
ITEM NO.	DESCRIPTION OF WORK	SCHEDULED VALUE	WORK COMPLETED		MATERIALS PRESENTLY STORED (NOT IN D OR E)	TOTAL COMPLETED AND STORED TO DATE (D + E + F)	% (G / C)	BALANCE TO FINISH (C - G)	RETAINAGE
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
118	**PCCO#001**								
118.1	**PCO#001**								
118.1.1	210 Earthwork-Excavation - Cut to Fill.O Excavation - Cut to Fill.Other Cut to fill -859cy	$(3,307.15)	$(3,307.15)	$0.00	$0.00	$(3,307.15)	100.00%	$0.00	$0.00
118.1.2	210 Earthwork-Excavation - Stock Pile.O Excavation - Stock Pile.Other Cut to stockpile -2122cy	$(6,472.10)	$(6,472.10)	$0.00	$0.00	$(6,472.10)	100.00%	$0.00	$0.00
118.1.3	210 Earthwork-Grading - Building Pads.O Grading - Building Pads.Other Grade Tract 1 6536sy	$3,921.60	$3,921.60	$0.00	$0.00	$3,921.60	100.00%	$0.00	$0.00
118.1.4	210 Earthwork-Grading - ROW.O Grading - ROW.Other Grade ROWs -1143sy	$(685.80)	$(685.80)	$0.00	$0.00	$(685.80)	100.00%	$0.00	$0.00
118.1.5	210 Earthwork-Bahia Sod - 2' to BOC.O Bahia Sod Install - 2' to BOC.Other Sod 2' BOC -40sy	$(106.00)	$(106.00)	$0.00	$0.00	$(106.00)	100.00%	$0.00	$0.00
118.1.6	210 Earthwork-Seed Mulch Common ttracts.O Seed and Mulch Common tracts.Other Seed & mulch Phases 1 & 2 212310sy	$63,693.00	$63,693.00	$0.00	$0.00	$63,693.00	100.00%	$0.00	$0.00
118.1.7	210 Earthwork-Seed Mulch Common ttracts.O Seed and Mulch Common tracts.Other Seed & mulch Phsaes 3, 4 & 5 247856sy	$74,356.80	$74,356.80	$0.00	$0.00	$74,356.80	100.00%	$0.00	$0.00
118.1.8	210 Earthwork-Seed Mulch Common ttracts.O Seed and Mulch Common tracts.Other Seed & mulch PH 3 & 4 -246840sy	$(123,420.00)	$(123,420.00)	$0.00	$0.00	$(123,420.00)	100.00%	$0.00	$0.00
118.1.9	210 Earthwork-Bahia Sod - Open Tracts.O Bahia Sod Install - Open Tracts.Other Sod Common areas -286sy	$(757.90)	$(757.90)	$0.00	$0.00	$(757.90)	100.00%	$0.00	$0.00
118.1.10	260.20 Concrete-Curb - Type A Median.O Curb - Type A Median.Other Type A curb 72lf	$1,188.00	$1,188.00	$0.00	$0.00	$1,188.00	100.00%	$0.00	$0.00

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			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
118.1.11	260.20 Concrete-Curb - Drop.O Curb - Drop.Other Type D curb 240lf	$3,648.00	$3,648.00	$0.00	$0.00	$3,648.00	100.00%	$0.00	$0.00
118.1.12	260.20 Concrete-Curb Type E.O Curb - Type E.Other Type E curb 26lf	$548.60	$548.60	$0.00	$0.00	$548.60	100.00%	$0.00	$0.00
118.1.13	260.20 Concrete-Curb - Type F.O Curb - Type "F" FDOT.Other Type F curb 418lf	$7,691.20	$7,691.20	$0.00	$0.00	$7,691.20	100.00%	$0.00	$0.00
118.1.14	260.20 Concrete-Curb - Miami.O Curb - Miami.Other Miami curb 16lf	$264.00	$264.00	$0.00	$0.00	$264.00	100.00%	$0.00	$0.00
118.1.15	260.20 Concrete-Curb - Ribbon 12".O Curb - Ribbon 12".Other 1' ribbon curb -284lf	$(4,316.80)	$(4,316.80)	$0.00	$0.00	$(4,316.80)	100.00%	$0.00	$0.00
118.1.16	260.20 Concrete-Valley Gutter - 3'.O Valley Gutter - 3'.Other 3' valley gutter -34lf	$(673.20)	$(673.20)	$0.00	$0.00	$(673.20)	100.00%	$0.00	$0.00
118.1.17	260.20 Concrete-Sidewalk - Concrete 54-Sidewalk-Concrete 54 5' x 4".O Sidewalk-Concrete 54 5' x 4".Other 5'x4" sidewalk 394lf	$9,357.50	$9,357.50	$0.00	$0.00	$9,357.50	100.00%	$0.00	$0.00
118.1.18	260.20 Concrete-Sidewalk - Concrete 44.O Sidewalk - Concrete 4' x 4".Other 4'x4" sidewalk -102lf	$(1,938.00)	$(1,938.00)	$0.00	$0.00	$(1,938.00)	100.00%	$0.00	$0.00
118.1.19	260.20 Concrete-Sidewalk - Concrete 56.O Sidewalk - Concrete 5' x 6".Other 5'x6" sidewalk -4lf	$(105.60)	$(105.60)	$0.00	$0.00	$(105.60)	100.00%	$0.00	$0.00
118.1.20	260.20 Concrete-Hdcp Ramp w/ ADA Mat-Hdcp Ramp w/ada Mat 4'.O Hdcp Ramp w/ada Mat 4'.Other 4' ADA ramp -2	$(1,666.70)	$(1,666.70)	$0.00	$0.00	$(1,666.70)	100.00%	$0.00	$0.00
118.1.21	260.20 Concrete-Driveway Apron - 6".O Driveway Apron - 6".Other 6" concrete apron -10sy	$(475.00)	$(475.00)	$0.00	$0.00	$(475.00)	100.00%	$0.00	$0.00
118.1.22	260.10 Base-Compacted Subgrade 12".O Compacted Subgrade 12".Other 12" compacted subgrade 635sy	$1,365.25	$1,365.25	$0.00	$0.00	$1,365.25	100.00%	$0.00	$0.00
118.1.23	260.10 Base-Stabilized Subgrade - 6".O Stabilized Subgrade - 6".Other 6" stabilized curb pad 370sy	$1,554.00	$1,554.00	$0.00	$0.00	$1,554.00	100.00%	$0.00	$0.00
118.1.24	260.10 Base-Stabilized Subgrade- 10.O Stabilized Subgrade - 10".Other 10" stabilized access -3414sy	$(18,435.60)	$(18,435.60)	$0.00	$0.00	$(18,435.60)	100.00%	$0.00	$0.00
118.1.25	260.10 Base-Stabilized Subgrade - 6".O Stabilized Subgrade - 6".Other Stabilized access (6" subgrade, 2" recycled concrete) 2920sy	$33,872.00	$33,872.00	$0.00	$0.00	$33,872.00	100.00%	$0.00	$0.00
118.1.26	260.10 Base-Stabilized Subgrade - 12.O Stabilized Subgrade - 12".Other 12" stabilized subgrade 122sy	$1,152.90	$1,152.90	$0.00	$0.00	$1,152.90	100.00%	$0.00	$0.00
118.1.27	260.10 Base-Soil Cement Base - 6".O Soil Cement Base - 6".Other 6" soil cement base 293sy	$4,658.70	$4,658.70	$0.00	$0.00	$4,658.70	100.00%	$0.00	$0.00
118.1.28	260.10 Base-Soil Cement Base - 8".O Soil Cement Base - 8".Other 8" soil cement base 200sy	$4,000.00	$4,000.00	$0.00	$0.00	$4,000.00	100.00%	$0.00	$0.00
118.1.29	260.10 Base-Soil Cement Base - 10".O Soil Cement Base - 10".Other 10" soil cement base -52sy	$(1,554.80)	$(1,554.80)	$0.00	$0.00	$(1,554.80)	100.00%	$0.00	$0.00
118.1.30	260.30 Asphalt-Asphalt SP9.5 FDOT - 1.2.O Asphalt SP9.5 FDOT - 1.25".Other	$2,549.10	$2,549.10	$0.00	$0.00	$2,549.10	100.00%	$0.00	$0.00

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			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
	1¼" SP-9.5 asphalt 293sy								
118.1.31	260.30 Asphalt-Asphalt SP12.5 112.O Asphalt SP12.5 1 1/2".Other 1½" SP-12.5 asphalt 200sy	$2,060.00	$2,060.00	$0.00	$0.00	$2,060.00	100.00%	$0.00	$0.00
118.1.32	260.30 Asphalt-Asphalt 3.O Asphalt - 3".Other 3" Type S asphalt -52sy	$(1,071.20)	$(1,071.20)	$0.00	$0.00	$(1,071.20)	100.00%	$0.00	$0.00
118.1.33	260.30 Asphalt-Asphalt FC12.5 1.5".O Asphalt FC12.5 1.5".Other 1½" SFC-12.5 asphalt 1203sy	$18,826.95	$18,826.95	$0.00	$0.00	$18,826.95	100.00%	$0.00	$0.00
118.1.34	260.25 Striping & Signage-Striping and Signage.O Striping and Signage.Other Signs & striping	$1,099.50	$1,099.50	$0.00	$0.00	$1,099.50	100.00%	$0.00	$0.00
118.1.35	230.20 Storm RCP-Storm Pipe 1218ERCP.O Storm Pipe - 12" x 18" ERCP.Other 12"x18" RCP -35lf	$(1,575.00)	$(1,575.00)	$0.00	$0.00	$(1,575.00)	100.00%	$0.00	$0.00
118.1.36	230.20 Storm RCP-Storm Pipe 15RCP.O Storm Pipe 15RCP.Other 15" RCP -11lf	$(324.50)	$(324.50)	$0.00	$0.00	$(324.50)	100.00%	$0.00	$0.00
118.1.37	230.20 Storm RCP-Storm Pipe 18RCP.O Storm Pipe 18RCP.Other 18" RCP 10lf	$342.50	$342.50	$0.00	$0.00	$342.50	100.00%	$0.00	$0.00
118.1.38	230.20 Storm RCP-Storm Pipe 24RCP.O Storm Pipe 24RCP.Other 24" RCP -519lf	$(26,417.10)	$(26,417.10)	$0.00	$0.00	$(26,417.10)	100.00%	$0.00	$0.00
118.1.39	230.20 Storm RCP-Storm Pipe 30RCP.O Storm Pipe 30RCP.Other 30" RCP 389lf	$27,794.05	$27,794.05	$0.00	$0.00	$27,794.05	100.00%	$0.00	$0.00
118.1.40	230.20 Storm RCP-Storm Pipe 36RCP.O Storm Pipe 36RCP.Other 36" RCP 38lf	$3,226.20	$3,226.20	$0.00	$0.00	$3,226.20	100.00%	$0.00	$0.00
118.1.41	230.20 Storm RCP-Storm Pipe 42RCP.O Storm Pipe 42RCP.Other 42" RCP 166lf	$20,301.80	$20,301.80	$0.00	$0.00	$20,301.80	100.00%	$0.00	$0.00
118.1.42	230.20 Storm RCP-Storm Pipe 48RCP.O Storm Pipe 48RCP.Other 48" RCP -200lf	$(28,960.00)	$(28,960.00)	$0.00	$0.00	$(28,960.00)	100.00%	$0.00	$0.00
118.1.43	230.99 Storm - Misc-Storm Misc Ftgs.O Storm Misc Ftgs.Other 38" x 60" ERCP 200lf	$38,460.00	$38,460.00	$0.00	$0.00	$38,460.00	100.00%	$0.00	$0.00
118.1.44	230.3 Storm - FES-Storm 18FES.O Storm - 18" Flared End Section.Other 18" FES -1	$(816.40)	$(816.40)	$0.00	$0.00	$(816.40)	100.00%	$0.00	$0.00
118.1.45	230.3 Storm - FES-Storm 24FES.O Storm - 24" Flared End Section.Other 24" FES -1	$(939.80)	$(939.80)	$0.00	$0.00	$(939.80)	100.00%	$0.00	$0.00
118.1.46	230.3 Storm - FES-Storm 42FES.O Storm - 42" Flared End Section.Other 42" FES 1	$3,855.15	$3,855.15	$0.00	$0.00	$3,855.15	100.00%	$0.00	$0.00
118.1.47	230.3 Storm - FES-Storm 48FES.O Storm - 48" Flared End Section.Other 48" FES -1	$(4,648.70)	$(4,648.70)	$0.00	$0.00	$(4,648.70)	100.00%	$0.00	$0.00
118.1.48	230.4 Storm MES-Storm 48MES.O Storm - 48" Mitered End Section.Other 48" MES 1	$3,707.45	$3,707.45	$0.00	$0.00	$3,707.45	100.00%	$0.00	$0.00
118.1.49	230.99 Storm - Misc-Storm Misc Ftgs.O Storm Misc Ftgs.Other 38" X 60" FES 1	$4,533.50	$4,533.50	$0.00	$0.00	$4,533.50	100.00%	$0.00	$0.00
118.1.50	230.99 Storm - Misc-Storm Misc Ftgs.O Storm Misc Ftgs.Other 18" Pipe Plug 1	$250.00	$250.00	$0.00	$0.00	$250.00	100.00%	$0.00	$0.00

A	B	C	D	E	F	G		H	I
ITEM NO.	DESCRIPTION OF WORK	SCHEDULED VALUE	WORK COMPLETED		MATERIALS PRESENTLY STORED (NOT IN D OR E)	TOTAL COMPLETED AND STORED TO DATE (D + E + F)	% (G / C)	BALANCE TO FINISH (C - G)	RETAINAGE
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
118.1.51	230.6 Storm Inlet and Tops-Storm P1 Inlet <10.O Storm P1 Inlet <10.Other P1 inlet < 10' -1	$(5,126.45)	$(5,126.45)	$0.00	$0.00	$(5,126.45)	100.00%	$0.00	$0.00
118.1.52	230.6 Storm Inlet and Tops-Storm P1 Inlet >10.O Storm P1 Inlet >10.Other P1 nlet > 10' -1	$(6,245.60)	$(6,245.60)	$0.00	$0.00	$(6,245.60)	100.00%	$0.00	$0.00
118.1.53	230.6 Storm Inlet and Tops-Storm P1 Inlet <10.O Storm P1 Inlet <10.Other P1 inlet 2	$11,449.40	$11,449.40	$0.00	$0.00	$11,449.40	100.00%	$0.00	$0.00
118.1.54	230.6 Storm Inlet and Tops-Storm P2 Inlet.O Storm P2 Inlet <10.Other P2 inlet < 10' -1	$(6,064.95)	$(6,064.95)	$0.00	$0.00	$(6,064.95)	100.00%	$0.00	$0.00
118.1.55	230.6 Storm Inlet and Tops-Storm P2 Inlet.O Storm P2 Inlet <10.Other P2 inlet 1	$6,474.00	$6,474.00	$0.00	$0.00	$6,474.00	100.00%	$0.00	$0.00
118.1.56	230.6 Storm Inlet and Tops-Storm P4 Inlet.O Storm P4 Inlet <10.Other P4 inlet <10' -3	$(12,758.70)	$(12,758.70)	$0.00	$0.00	$(12,758.70)	100.00%	$0.00	$0.00
118.1.57	230.6 Storm Inlet and Tops-Storm P4 Inlet >10.O Storm P4 Inlet >10.Other P4 inlet >10' -2	$(10,783.80)	$(10,783.80)	$0.00	$0.00	$(10,783.80)	100.00%	$0.00	$0.00
118.1.58	230.6 Storm Inlet and Tops-Storm P4 Inlet.O Storm P4 Inlet <10.Other P4 inlet 3	$14,254.20	$14,254.20	$0.00	$0.00	$14,254.20	100.00%	$0.00	$0.00
118.1.59	230.6 Storm Inlet and Tops-Storm J3 Inlet.O Storm J3 Inlet <10.Other J3 inlet < 10' -2	$(15,124.00)	$(15,124.00)	$0.00	$0.00	$(15,124.00)	100.00%	$0.00	$0.00
118.1.60	230.6 Storm Inlet and Tops-Storm J3 Inlet.O Storm J3 Inlet <10.Other J3 inlet < 10' 2	$16,235.30	$16,235.30	$0.00	$0.00	$16,235.30	100.00%	$0.00	$0.00
118.1.61	230.6 Storm Inlet and Tops-Storm J4 Inlet.O Storm J4 Inlet <10.Other J4 inlet 2	$14,351.90	$14,351.90	$0.00	$0.00	$14,351.90	100.00%	$0.00	$0.00
118.1.62	230.6 Storm Inlet and Tops-Storm P7 Inlet.O Storm P7 Inlet <10.Other P7 MH < 10' -7	$(18,963.35)	$(18,963.35)	$0.00	$0.00	$(18,963.35)	100.00%	$0.00	$0.00
118.1.63	230.6 Storm Inlet and Tops-Storm P7 Inlet >10.O Storm P7 Inlet >10.Other P7 MH > 10' -2	$(7,077.80)	$(7,077.80)	$0.00	$0.00	$(7,077.80)	100.00%	$0.00	$0.00
118.1.64	230.6 Storm Inlet and Tops-Storm P7 Inlet.O Storm P7 Inlet <10.Other P7 MH 8	$22,880.00	$22,880.00	$0.00	$0.00	$22,880.00	100.00%	$0.00	$0.00
118.1.65	230.6 Storm Inlet and Tops-Storm J7 Inlet.O Storm J7 Inlet <10.Other J7 MH < 10' -1	$(3,463.80)	$(3,463.80)	$0.00	$0.00	$(3,463.80)	100.00%	$0.00	$0.00
118.1.66	230.6 Storm Inlet and Tops-Storm J7 Inlet >10.O Storm J7 Inlet >10.Other J7 MH > 10' -1	$(4,006.00)	$(4,006.00)	$0.00	$0.00	$(4,006.00)	100.00%	$0.00	$0.00
118.1.67	230.6 Storm Inlet and Tops-Storm J7 Inlet.O Storm J7 Inlet <10.Other J7 MH 3	$12,996.00	$12,996.00	$0.00	$0.00	$12,996.00	100.00%	$0.00	$0.00

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ITEM NO.	DESCRIPTION OF WORK	SCHEDULED VALUE	WORK COMPLETED		MATERIALS PRESENTLY STORED (NOT IN D OR E)	TOTAL COMPLETED AND STORED TO DATE (D + E + F)	% (G / C)	BALANCE TO FINISH (C - G)	RETAINAGE
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
118.1.68	230.6 Storm Inlet and Tops-Storm V Inlet.O Storm V Inlet.Other V inlet -1	$(4,240.10)	$(4,240.10)	$0.00	$0.00	$(4,240.10)	100.00%	$0.00	$0.00
118.1.69	230.8 Storm MH-Storm H Control.O Storm - H Control Structure.Other Type H control structure -2	$(22,158.70)	$(22,158.70)	$0.00	$0.00	$(22,158.70)	100.00%	$0.00	$0.00
118.1.70	230.8 Storm MH-Storm H Control.O Storm - H Control Structure.Other Type H control structure 2	$22,909.40	$22,909.40	$0.00	$0.00	$22,909.40	100.00%	$0.00	$0.00
118.1.71	230.99 Storm - Misc-Storm - Clean Light.O Storm - Clean Light.Other Clean & inspect storm -351lf	$(1,158.30)	$(1,158.30)	$0.00	$0.00	$(1,158.30)	100.00%	$0.00	$0.00
118.1.72	220 Sanitary Sewer-Sanitary - Dewatering.O Sanitary Sewer - Dewatering.Other Dewater sanitary sewer 1	$1,411.00	$1,411.00	$0.00	$0.00	$1,411.00	100.00%	$0.00	$0.00
118.1.73	220 Sanitary Sewer-Connect to Existing Forecemain.O Sanitary Sewer - Connect to existing forcemain.Other Connect to forcemain -1	$(579.55)	$(579.55)	$0.00	$0.00	$(579.55)	100.00%	$0.00	$0.00
118.1.74	220 Sanitary Sewer-Sanitary Directional.O Sanitary Sewer - 4 Directional Forcemain.Other 12" directional crossing 80lf	$16,560.00	$16,560.00	$0.00	$0.00	$16,560.00	100.00%	$0.00	$0.00
118.1.75	220.91 Sanitary DR18-Sanitary Pipe 8DR18.O Sanitary Sewer Pipe 8DR18.Other 8" PVC forcemain 78lf	$1,591.20	$1,591.20	$0.00	$0.00	$1,591.20	100.00%	$0.00	$0.00
118.1.76	220.99 Sanitary - Misc-Sanitary Misc Ftgs.O Sanitary Misc Ftgs.Other 8" plug valve 2	$6,184.60	$6,184.60	$0.00	$0.00	$6,184.60	100.00%	$0.00	$0.00
118.1.77	220 Sanitary Sewer-Sanitary ARV.O Sanitary Sewer - ARV.Other Air release valve 1	$9,254.45	$9,254.45	$0.00	$0.00	$9,254.45	100.00%	$0.00	$0.00
118.1.78	220.99 Sanitary - Misc-Sanitary Misc Ftgs.O Sanitary Misc Ftgs.Other Forcemain fittings & restraints	$4,238.95	$4,238.95	$0.00	$0.00	$4,238.95	100.00%	$0.00	$0.00
118.1.79	220 Sanitary Sewer-Sanitary - Forcemain Tes.O Sanitary Sewer - Forcemain Testing.Other Pressure test forcemain 158lf	$197.50	$197.50	$0.00	$0.00	$197.50	100.00%	$0.00	$0.00
118.1.80	220.92 Sanitary DR26-Sanitary Pipe 8DR26-Sanitary Sewer Pipe 8DR26 0-6.O Sanitary Sewer Pipe 8DR26 0-6'.Other 8" gravity sewer 4/6' 251lf	$4,128.95	$4,128.95	$0.00	$0.00	$4,128.95	100.00%	$0.00	$0.00
118.1.81	220.92 Sanitary DR26-Sanitary Pipe 8DR26-Sanitary Sewer Pipe 8DR26 6-8.O Sanitary Sewer Pipe 8DR26 6-8'.Other 8" gravity sewer 6/8' 128lf	$2,291.20	$2,291.20	$0.00	$0.00	$2,291.20	100.00%	$0.00	$0.00
118.1.82	220.92 Sanitary DR26-Sanitary Pipe 8DR26-Sanitary Sewer Pipe 8DR26 8-10.O Sanitary Sewer Pipe 8DR26 8-10'.Other 8" gravity sewer 8/10' 285lf	$5,643.00	$5,643.00	$0.00	$0.00	$5,643.00	100.00%	$0.00	$0.00
118.1.83	220.92 Sanitary DR26-Sanitary Pipe 8DR26-Sanitary Sewer Pipe 8DR26 10-12.O Sanitary Sewer Pipe 8DR26 10-12'.Other 8" gravity sewer 10/12' 101lf	$2,141.20	$2,141.20	$0.00	$0.00	$2,141.20	100.00%	$0.00	$0.00
118.1.84	220.92 Sanitary DR26-Sanitary Pipe 10DR26-Sanitary Sewer Pipe 10DR26 10-12.O Sanitary Sewer Pipe 10DR26 10-12'.Other 10" gravity sewer 10/12' -60lf	$(1,656.00)	$(1,656.00)	$0.00	$0.00	$(1,656.00)	100.00%	$0.00	$0.00
118.1.85	220.92 Sanitary DR26-Sanitary Pipe 10DR26-Sanitary Pipe 10DR26 12-14.O Sanitary Pipe 10DR26 12-14.Other	$1,746.00	$1,746.00	$0.00	$0.00	$1,746.00	100.00%	$0.00	$0.00

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			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
	10" gravity sewer 12/14' 60lf								
118.1.86	220.10 Sanitary ManHoles-Sanitary MH 0-6'.O Sanitary Sewer MH 0-6'.Other 4' SS MH 4/6 -2	$(7,961.00)	$(7,961.00)	$0.00	$0.00	$(7,961.00)	100.00%	$0.00	$0.00
118.1.87	220.10 Sanitary ManHoles-Sanitary MH 0-6'.O Sanitary Sewer MH 0-6'.Other 4' SS MH 4/6 2	$7,754.20	$7,754.20	$0.00	$0.00	$7,754.20	100.00%	$0.00	$0.00
118.1.88	220.10 Sanitary ManHoles-Sanitary MH 6-8'.O Sanitary Sewer MH 6-8'.Other 4' SS MH 6/8' -2	$(8,479.70)	$(8,479.70)	$0.00	$0.00	$(8,479.70)	100.00%	$0.00	$0.00
118.1.89	220.10 Sanitary ManHoles-Sanitary MH 6-8'.O Sanitary Sewer MH 6-8'.Other 4' SS MH 6/8' 2	$16,863.20	$16,863.20	$0.00	$0.00	$16,863.20	100.00%	$0.00	$0.00
118.1.90	220.10 Sanitary ManHoles-Sanitary MH 8-10'.O Sanitary Sewer MH 8-10'.Other 4' SS MH 8/10' 3	$12,923.55	$12,923.55	$0.00	$0.00	$12,923.55	100.00%	$0.00	$0.00
118.1.91	220.10 Sanitary ManHoles-Sanitary MH 8-10'.O Sanitary Sewer MH 8-10'.Other 4' SS MH 8/10' lined -2	$(17,825.90)	$(17,825.90)	$0.00	$0.00	$(17,825.90)	100.00%	$0.00	$0.00
118.1.92	220.10 Sanitary ManHoles-Sanitary MH 10-12'.O Sanitary Sewer MH 10-12'.Other 4' SS MH 10/12' -1	$(5,165.00)	$(5,165.00)	$0.00	$0.00	$(5,165.00)	100.00%	$0.00	$0.00
118.1.93	220.10 Sanitary ManHoles-Sanitary MH 12-14'.O Sanitary Sewer MH 12-14'.Other 4' SS MH 12/14' lined 2	$33,167.90	$33,167.90	$0.00	$0.00	$33,167.90	100.00%	$0.00	$0.00
118.1.94	220 Sanitary Sewer-Sanitary MH Drop Conn.O Sanitary Sewer MH Drop Connection.Other Drop connection 3.88vf	$1,105.80	$1,105.80	$0.00	$0.00	$1,105.80	100.00%	$0.00	$0.00
118.1.95	220 Sanitary Sewer-Sanitary Single Services.O Sanitary Sewer Single Services.Other Single service 7ea	$3,909.50	$3,909.50	$0.00	$0.00	$3,909.50	100.00%	$0.00	$0.00
118.1.96	220 Sanitary Sewer-Sanitary Double Services.O Sanitary Sewer Double Services.Other Double service -1	$(624.85)	$(624.85)	$0.00	$0.00	$(624.85)	100.00%	$0.00	$0.00
118.1.97	220 Sanitary Sewer-Sanitary - Clean, Flush and Video.O Sanitary - Clean, Flush and Video.Other Clean, test & video sanitary mains and manholes	$5,202.00	$5,202.00	$0.00	$0.00	$5,202.00	100.00%	$0.00	$0.00
118.1.98	240.99 Water - Misc-Water Tie Into Existing.O Water - Tie into Existing.Other Connect to 24" water main	$(10,484.90)	$(10,484.90)	$0.00	$0.00	$(10,484.90)	100.00%	$0.00	$0.00
118.1.99	240.99 Water - Misc-Water Tie Into Existing.O Water - Tie into Existing.Other Connect to 24" water main	$10,730.30	$10,730.30	$0.00	$0.00	$10,730.30	100.00%	$0.00	$0.00
118.1.100	240.11 Water DR11-12DR11.O Water - 12" DR 11 directional pipe.Other 12" directional crossing -165lf	$(32,670.00)	$(32,670.00)	$0.00	$0.00	$(32,670.00)	100.00%	$0.00	$0.00
118.1.101	240.91 Water DR18-Water 12DR18.O Water 12DR18.Other 12" PVC water main 245lf	$8,746.50	$8,746.50	$0.00	$0.00	$8,746.50	100.00%	$0.00	$0.00
118.1.102	240.91 Water DR18-Water 8DR18.O Water 8DR18.Other 8" PVC water main 170lf	$3,476.50	$3,476.50	$0.00	$0.00	$3,476.50	100.00%	$0.00	$0.00

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			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
118.1.103	240.99 Water - Misc-Water - Fire Hydrants.O Water - Fire Hydrants.Other Fire hydrant assembly	$4,550.85	$4,550.85	$0.00	$0.00	$4,550.85	100.00%	$0.00	$0.00
118.1.104	240.99 Water - Misc-Water Misc Ftgs.O Water Misc Ftgs.Other Fittings & restraints	$(10,984.25)	$(10,984.25)	$0.00	$0.00	$(10,984.25)	100.00%	$0.00	$0.00
118.1.105	240.99 Water - Misc-Water Misc Ftgs.O Water Misc Ftgs.Other 12" fittings & restraints	$18,676.10	$18,676.10	$0.00	$0.00	$18,676.10	100.00%	$0.00	$0.00
118.1.106	240.99 Water - Misc-Water Misc Ftgs.O Water Misc Ftgs.Other 8" fittings & restraints	$4,626.85	$4,626.85	$0.00	$0.00	$4,626.85	100.00%	$0.00	$0.00
118.1.107	240.20 Water - Gate Valves-Water - 12GV.O Water - 12" Gate Valves.Other 12" gate valve	$3,191.55	$3,191.55	$0.00	$0.00	$3,191.55	100.00%	$0.00	$0.00
118.1.108	240.20 Water - Gate Valves-Water - 8GV.O Water - 8" Gate Valves.Other 8" gate valve	$1,802.25	$1,802.25	$0.00	$0.00	$1,802.25	100.00%	$0.00	$0.00
118.1.109	240.99 Water - Misc-Water - Blow Off Assembl.O Water - Blow Off Assembly.Other 2" blow-off assembly	$1,305.45	$1,305.45	$0.00	$0.00	$1,305.45	100.00%	$0.00	$0.00
118.1.110	240.99 Water - Misc-Water - Single Services.O Water - Single Services.Other Single water service	$1,216.00	$1,216.00	$0.00	$0.00	$1,216.00	100.00%	$0.00	$0.00
118.1.111	240.99 Water - Misc-Water - Testing & Chlor.O Water - Testing & Chlorination.Other Test & chlorinate 250lf	$825.00	$825.00	$0.00	$0.00	$825.00	100.00%	$0.00	$0.00
118.1.112	240.99 Water - Misc-Open Cut Repair.O Open Cut and Repair Road.Other Open cut & repair less friction course	$48,363.20	$48,363.20	$0.00	$0.00	$48,363.20	100.00%	$0.00	$0.00
118.1.113	250.99 Reclaim - Misc-Reclaim Connect to Main.O Reclaim - connect to main 24" existing.Other Connect to 24" Reclaimed main	$(10,484.85)	$(10,484.85)	$0.00	$0.00	$(10,484.85)	100.00%	$0.00	$0.00
118.1.114	250.99 Reclaim - Misc-Reclaim Connect to Main.O Reclaim - connect to main 24" existing.Other Connect to 24" Reclaimed main	$10,730.30	$10,730.30	$0.00	$0.00	$10,730.30	100.00%	$0.00	$0.00
118.1.115	250.11 Reclaim DR11-12DR11.O Reclaim - 12" DR11 Directional Pipe.Other 12" directional crossing -60lf	$(11,880.00)	$(11,880.00)	$0.00	$0.00	$(11,880.00)	100.00%	$0.00	$0.00
118.1.116	250.91 Reclaim DR18-Reclaim 12DR18.O Reclaim 12DR18.Other 12" PVC Reclaimed main 131lf	$4,676.70	$4,676.70	$0.00	$0.00	$4,676.70	100.00%	$0.00	$0.00
118.1.117	250.91 Reclaim DR18-Reclaim 6DR18.O Reclaim 6DR18.Other 6" PVC Reclaimed main 47lf	$900.05	$900.05	$0.00	$0.00	$900.05	100.00%	$0.00	$0.00
118.1.118	250.99 Reclaim - Misc-Reclaim Misc Ftgs.O Reclaim Misc Ftgs.Other Fittings & restraints	$(17,853.70)	$(17,853.70)	$0.00	$0.00	$(17,853.70)	100.00%	$0.00	$0.00
118.1.119	250.99 Reclaim - Misc-Reclaim Misc Ftgs.O Reclaim Misc Ftgs.Other 12" fittings & restraints	$20,269.95	$20,269.95	$0.00	$0.00	$20,269.95	100.00%	$0.00	$0.00
118.1.120	250.99 Reclaim - Misc-Reclaim Misc Ftgs.O Reclaim Misc Ftgs.Other 8" fittings & restraints	$1,414.95	$1,414.95	$0.00	$0.00	$1,414.95	100.00%	$0.00	$0.00

A	B	C	D	E	F	G		H	I
ITEM NO.	DESCRIPTION OF WORK	SCHEDULED VALUE	WORK COMPLETED		MATERIALS PRESENTLY STORED (NOT IN D OR E)	TOTAL COMPLETED AND STORED TO DATE (D + E + F)	% (G / C)	BALANCE TO FINISH (C - G)	RETAINAGE
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
118.1.121	250.20 Reclaim Gate Valves-Reclaim - 12GV.O Reclaim - 12" gate valve.Other 12" gate valve	$3,156.22	$3,156.22	$0.00	$0.00	$3,156.22	100.00%	$0.00	$0.00
118.1.122	250.20 Reclaim Gate Valves-Reclaim - 8GV.O Reclaim - 8" Gate Valves.Other 8" gate valve	$(1,742.60)	$(1,742.60)	$0.00	$0.00	$(1,742.60)	100.00%	$0.00	$0.00
118.1.123	250.20 Reclaim Gate Valves-Reclaim - 6GV.O Reclaim - 6" Gate Valves.Other 6" gate valve	$(1,240.55)	$(1,240.55)	$0.00	$0.00	$(1,240.55)	100.00%	$0.00	$0.00
118.1.124	250.99 Reclaim - Misc-Reclaim - Single Service.O Reclaim - Single Services.Other Single service	$1,216.00	$1,216.00	$0.00	$0.00	$1,216.00	100.00%	$0.00	$0.00
118.1.125	250.99 Reclaim - Misc-Reclaim - Double Service.O Reclaim - Double Services.Other Double service	$(608.00)	$(608.00)	$0.00	$0.00	$(608.00)	100.00%	$0.00	$0.00
118.1.126	250.99 Reclaim - Misc-Reclaim - Test Main Serv.O Reclaim - Test Main Service.Other Testing	$33.60	$33.60	$0.00	$0.00	$33.60	100.00%	$0.00	$0.00
118.1.127	240.99 Water - Misc-Open Cut Repair.O Open Cut and Repair Road.Other Open cut & repair less friction course	$24,181.60	$24,181.60	$0.00	$0.00	$24,181.60	100.00%	$0.00	$0.00
119	**PCCO#002**								
119.1	**PCO#002**								
119.1.1	225 Lift Station-Lift Station - Misc Ftgs.O On-Site Lift Station - Misc Ftgs.Other Addtl lift station wet well depth	$22,298.35	$22,298.35	$0.00	$0.00	$22,298.35	100.00%	$0.00	$0.00
120	**PCCO#003**								
120.1	**PCO#003**								
120.1.1	100 General Conditions-MOT.O MOT - Maintenance of Traffic.Other MOT	$1,227.50	$1,227.50	$0.00	$0.00	$1,227.50	100.00%	$0.00	$0.00
120.1.2	210 Earthwork-Demolition - Sidewalk.O Demolition - Sidewalk.Other Demo & dispose concrete walks 10230sy	$64,960.50	$64,960.50	$0.00	$0.00	$64,960.50	100.00%	$0.00	$0.00
120.1.3	210 Earthwork-Demolition - Pavement Tu.O Demolition - Pavement Turnouts.Other Demo & disposal of asphalt pavement & base 120sy	$630.00	$630.00	$0.00	$0.00	$630.00	100.00%	$0.00	$0.00
120.1.4	210 Earthwork-Demolition - Valley Gutt.O Demolition - Valley Gutter.Other Demo Base 5565sy	$3,617.25	$3,617.25	$0.00	$0.00	$3,617.25	100.00%	$0.00	$0.00
120.1.5	210 Earthwork-Demolition - Valley Gutt.O Demolition - Valley Gutter.Other Demo & dispose of curb 1115lf	$6,913.00	$6,913.00	$0.00	$0.00	$6,913.00	100.00%	$0.00	$0.00
120.1.6	210 Earthwork-Demolition - Valley Gutt.O Demolition - Valley Gutter.Other Demo & dispose of retaining wall 1675lf	$38,357.50	$38,357.50	$0.00	$0.00	$38,357.50	100.00%	$0.00	$0.00
120.1.7	260.20 Concrete-Curb - Type F.O Curb - Type "F" FDOT.Other Type F curb 182lf	$3,367.00	$3,367.00	$0.00	$0.00	$3,367.00	100.00%	$0.00	$0.00
121	**PCCO#004**								
121.1	**PCO#004**								
121.1.1	1-Water.O Fittings.Other	$7,990.45	$7,990.45	$0.00	$0.00	$7,990.45	100.00%	$0.00	$0.00

A	B	C	D	E	F	G		H	I
ITEM NO.	DESCRIPTION OF WORK	SCHEDULED VALUE	WORK COMPLETED		MATERIALS PRESENTLY STORED (NOT IN D OR E)	TOTAL COMPLETED AND STORED TO DATE (D + E + F)	% (G / C)	BALANCE TO FINISH (C - G)	RETAINAGE
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
	8" Line Stop								
122	**PCCO#005**								
122.1	**PCO#005**								
122.1.1	220.99 Sanitary - Misc-Sanitary Misc Ftgs.O Sanitary Misc Ftgs.Other Valve Vault Size Change 72" x 96"	$4,312.50	$4,312.50	$0.00	$0.00	$4,312.50	100.00%	$0.00	$0.00
123	**PCCO#006**								
123.1	**PCO#006**								
123.1.1	100 General Conditions-Construction Survey & La.O Construction Survey & Layout.Other Survey layout	$359.40	$359.40	$0.00	$0.00	$359.40	100.00%	$0.00	$0.00
123.1.2	200 On-Site-Sleeve Install Service.O Service - Sleeve Install.Other 1W3" conduit 95lf	$1,876.25	$1,876.25	$0.00	$0.00	$1,876.25	100.00%	$0.00	$0.00
123.1.3	200 On-Site-Sleeve Install Service.O Service - Sleeve Install.Other 1W3", 1W1½" conduit 50lf	$1,262.50	$1,262.50	$0.00	$0.00	$1,262.50	100.00%	$0.00	$0.00
123.1.4	200 On-Site-Sleeve Install Service.O Service - Sleeve Install.Other 1W3", 2W1½" conduit 65lf	$1,865.50	$1,865.50	$0.00	$0.00	$1,865.50	100.00%	$0.00	$0.00
123.1.5	200 On-Site-Sleeve Install Service.O Service - Sleeve Install.Other 2W3" conduit 65lf	$1,833.00	$1,833.00	$0.00	$0.00	$1,833.00	100.00%	$0.00	$0.00
123.1.6	200 On-Site-Sleeve Install Service.O Service - Sleeve Install.Other 3W3" conduit 170lf	$6,069.00	$6,069.00	$0.00	$0.00	$6,069.00	100.00%	$0.00	$0.00
123.1.7	200 On-Site-Sleeve Install Service.O Service - Sleeve Install.Other 1W2" conduit irrigation 150lf	$2,070.00	$2,070.00	$0.00	$0.00	$2,070.00	100.00%	$0.00	$0.00
123.1.8	200 On-Site-Sleeve Install Service.O Service - Sleeve Install.Other 1W2", 1W4" conduit irrigation 100lf	$1,865.00	$1,865.00	$0.00	$0.00	$1,865.00	100.00%	$0.00	$0.00
123.1.9	200 On-Site-Sleeve Install Service.O Service - Sleeve Install.Other 1W4" - Duke 294lf	$8,055.60	$8,055.60	$0.00	$0.00	$8,055.60	100.00%	$0.00	$0.00
123.1.10	200 On-Site-Sleeve Install Service.O Service - Sleeve Install.Other 1W6" Duke 130lf	$4,790.50	$4,790.50	$0.00	$0.00	$4,790.50	100.00%	$0.00	$0.00
124	**PCCO#007**								
124.1	**PCO#007**								
124.1.1	100 General Conditions.O GENERAL CONDITIONS.Other Chip and haul off existing debris	$106,375.00	$106,375.00	$0.00	$0.00	$106,375.00	100.00%	$0.00	$0.00
125	**PCCO#008**								
125.1	**PCO#008**								
125.1.1	220.10 Sanitary ManHoles-Sanitary MH 0-6'.O Sanitary Sewer MH 0-6'.Other MH 3C to drop MH	$4,484.25	$4,484.25	$0.00	$0.00	$4,484.25	100.00%	$0.00	$0.00
126	**PCCO#009**								
126.1	**PCO#009**								
126.1.1	210 Earthwork-Excavation - Cut to Fill.O Excavation - Cut to Fill.Other cut/fill	$7,129.90	$7,129.90	$0.00	$0.00	$7,129.90	100.00%	$0.00	$0.00
126.1.2	210 Earthwork-Excavation - Cut to Fill.O Excavation - Cut to Fill.Other cut export to phase 3	$6,068.15	$6,068.15	$0.00	$0.00	$6,068.15	100.00%	$0.00	$0.00

A	B	C	D	E	F	G		H	I
ITEM NO.	DESCRIPTION OF WORK	SCHEDULED VALUE	WORK COMPLETED		MATERIALS PRESENTLY STORED (NOT IN D OR E)	TOTAL COMPLETED AND STORED TO DATE (D + E + F)	% (G / C)	BALANCE TO FINISH (C - G)	RETAINAGE
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
126.1.3	210 Earthwork-Grading - Building Pads.O Grading - Building Pads.Other grade amenity center	$10,599.00	$10,599.00	$0.00	$0.00	$10,599.00	100.00%	$0.00	$0.00
	TOTALS:	**$602,529.42**	**$602,529.42**	**$0.00**	**$0.00**	**$602,529.42**	**100.00%**	**$0.00**	**$0.00**

Grand Totals

A	B	C	D	E	F	G		H	I
ITEM NO.	DESCRIPTION OF WORK	SCHEDULED VALUE	WORK COMPLETED		MATERIALS PRESENTLY STORED (NOT IN D OR E)	TOTAL COMPLETED AND STORED TO DATE (D + E + F)	% (G / C)	BALANCE TO FINISH (C - G)	RETAINAGE
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
	GRAND TOTALS:	**$3,713,634.42**	**$3,713,634.42**	**$0.00**	**$0.00**	**$3,713,634.42**	**100.00%**	**$0.00**	**$0.00**

WAIVER AND RELEASE OF
LIEN UPON FINAL PAYMENT

The undersigned lienor, in consideration of the payment in the amount of **$ 371,363.70**hereby waives and releases its lien and right to claim a lien for labor, services, or materials furnished to **Wal-Rose, Inc. through 1 / 31 / 2022** on the job of **Grand Pines Ph1** to the following described property:

JOB: Grand Pines Ph1

Dated on: 1/31/22

Lienor: Wal-Rose
Address: PO BOX 728, Sanford, FL 32772

By: Tom LaRose

Printed Name: Tom LaRose

State of FL

County of Seminole

The following instrument was acknowledged before me this 25 day Jan , 2022 by Tom LaRose who is personally know to me or who has produced identification.

CHRIS SHEETS
Notary Public - State of Florida
Commission # HH 207762
My Comm. Expires Jan 16, 2026
Bonded through National Notary Assn.

Notary Signature

My Commission Expires

Section 3
Supplemental Documents

PARADISO GRANDE PHASE 1

PLAT BOOK **108** PAGE **40**

A REPLAT OF PORTIONS OF GOLF COURSE PARCEL 3, PARCEL 11 AND LAKE 4 OF THE PLAT OF ORANGEWOOD NEIGHBORHOOD 2 AS RECORDED IN PLAT BOOK 17, PAGES 81 THROUGH 87 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AND LYING IN SECTION 13, TOWNSHIP 24 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA

LEGAL DESCRIPTION.

A PARCEL OF LAND COMPRISING PORTIONS OF GOLF COURSE PARCEL 3, PARCEL 11 AND LAKE 4 OF THE PLAT OF ORANGEWOOD NEIGHBORHOOD 2 AS RECORDED IN PLAT BOOK 17, PAGES 81 THROUGH 87 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AND LYING IN SECTION 13, TOWNSHIP 24 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.
BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE POINT OF INTERSECTION OF THE SOUTH LINE, ACCORDING TO OFFICIAL RECORDS BOOK 2593, PAGE 1260 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA OF THE VALENCIA WATER CONTROL DISTRICT C–1 CANAL AND THE WEST RIGHT–OF–WAY LINE, ACCORDING TO PLAT BOOK 17, PAGES 81 THROUGH 87 OF SAID PUBLIC RECORDS, OF INTERNATIONAL DRIVE, BEING A POINT ON A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 458.90 FEET WITH A CHORD BEARING OF NORTH 67° 07' 50" WEST, AND A CHORD DISTANCE OF 19.55 FEET; THENCE DEPARTING SAID WEST RIGHT–OF–WAY LINE RUN NORTHWESTERLY ALONG SAID SOUTH LINE OF THE VALENCIA WATER CONTROL DISTRICT C–1 AND THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 02° 26' 28" FOR A DISTANCE OF 19.55 FEET TO A POINT OF TANGENCY; THENCE RUN NORTH 65° 54' 36" WEST FOR A DISTANCE OF 286.04 FEET TO THE POINT OF BEGINNING AND A POINT ON A NON TANGENT CURVE, CONCAVE NORTHWESTERLY HAVING A RADIUS OF 1549.86 FEET, WITH A CHORD BEARING OF SOUTH 42° 32' 54" WEST, AND A CHORD DISTANCE OF 352.89 FEET; THENCE DEPARTING AFORESAID SOUTH LINE OF THE VALENCIA WATER CONTROL DISTRICT C–1 CANAL RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 13° 04' 27" FOR A DISTANCE OF 353.66 FEET TO A POINT ON A NON TANGENT CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 371.33 FEET, WITH A CHORD BEARING OF SOUTH 40° 42' 40" EAST, AND A CHORD DISTANCE OF 19.32 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 02° 58' 53" FOR A DISTANCE OF 19.32 FEET TO A POINT OF TANGENCY; THENCE RUN SOUTH 39° 13' 13" EAST FOR A DISTANCE OF 280.78 FEET TO A POINT ON AFORESAID WEST RIGHT–OF–WAY LINE OF INTERNATIONAL DRIVE AND A POINT ON A NON TANGENT CURVE HAVING A RADIUS OF 1849.86 FEET, WITH A CHORD BEARING OF SOUTH 50° 53' 36" WEST, AND A CHORD DISTANCE OF 100.00 FEET; THENCE RUN SOUTHWESTERLY ALONG SAID WEST RIGHT–OF–WAY LINE AND THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 03° 05' 52" FOR A DISTANCE OF 100.01 FEET TO A POINT ON A NON TANGENT LINE; THENCE DEPARTING SAID WEST RIGHT–OF–WAY LINE RUN NORTH 39° 13' 13" WEST FOR A DISTANCE OF 280.59 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 271.33 FEET, WITH A CHORD BEARING OF NORTH 41° 17' 25" WEST, AND A CHORD DISTANCE OF 19.60 FEET; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 04° 08' 24" FOR A DISTANCE OF 19.61 FEET TO A POINT ON A NON TANGENT LINE; THENCE RUN SOUTH 52° 53' 14" WEST FOR A DISTANCE OF 600.38 FEET; THENCE RUN SOUTH 22° 07' 41" WEST FOR A DISTANCE OF 123.20 FEET; THENCE RUN SOUTH 67° 52' 19" EAST FOR A DISTANCE OF 189.74 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 83.00 FEET, WITH A CHORD BEARING OF SOUTH 53° 59' 09" EAST, AND A CHORD DISTANCE OF 39.84 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 27° 46' 21" FOR A DISTANCE OF 40.23 FEET TO A POINT OF TANGENCY; THENCE RUN SOUTH 40° 05' 58" EAST FOR A DISTANCE OF 24.55 FEET TO A POINT ON THE WEST RIGHT–OF–WAY LINE INTERNATIONAL DRIVE ACCORDING TO OFFICIAL RECORD BOOK 10722, PAGE 8529, PARCEL 1007 OF AFORESAID PUBLIC RECORDS; THENCE RUN SOUTH 52° 53' 14" WEST ALONG SAID WEST RIGHT–OF–WAY LINE FOR A DISTANCE OF 35.05 FEET TO A POINT ON THE NORTH LINE OF AFORESAID PARCEL 10 ORANGEWOOD NEIGHBORHOOD 2 AND A POINT ON THE NORTH LINE OF PARC CORNICHE CONDOMINIUM, A CONDOMINIUM PHASE 1, ACCORDING TO CONDOMINIUM BOOK 16, PAGE 94 THROUGH 105 OF AFORESAID PUBLIC RECORDS; THENCE RUN THE FOLLOWING TWO COURSES ALONG SAID NORTH LINES: NORTH 40° 05' 58" WEST FOR A DISTANCE OF 34.59 FEET; THENCE RUN NORTH 67° 52' 19" WEST FOR A DISTANCE OF 496.97 FEET TO A POINT ON THE EAST LINE OF SAID PARCEL 3; THENCE RUN NORTH 22° 07' 41" EAST ALONG SAID EAST LINE OF PARCEL 3 FOR A DISTANCE OF 50.00 FEET; THENCE DEPARTING SAID EAST LINE OF PARCEL 3 RUN SOUTH 67° 52' 19" EAST FOR A DISTANCE OF 258.30 FEET; THENCE RUN NORTH 11° 49' 37" EAST FOR A DISTANCE OF 161.14 FEET; THENCE RUN NORTH 19° 56' 22" WEST FOR A DISTANCE OF 14.96 FEET TO A POINT ON A NON TANGENT CURVE, CONCAVE NORTHWESTERLY HAVING A RADIUS OF 76.00 FEET, WITH A CHORD BEARING OF NORTH 39° 45' 10" EAST, AND A CHORD DISTANCE OF 71.19 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 55° 51' 06" FOR A DISTANCE OF 74.08 FEET TO A POINT OF TANGENCY; THENCE RUN NORTH 11° 49' 37" EAST FOR A DISTANCE OF 216.00 FEET; THENCE RUN NORTH 78° 10' 23" WEST FOR A DISTANCE OF 407.00 FEET; THENCE RUN NORTH 11° 49' 37" EAST FOR A DISTANCE OF 52.00 FEET; THENCE RUN NORTH 78° 10' 23" WEST FOR A DISTANCE OF 105.00 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE NORTHEASTERLY HAVING A RADIUS OF 10.00 FEET, WITH A CHORD BEARING OF NORTH 33° 10' 23" WEST, AND A CHORD DISTANCE OF 14.14 FEET; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90° 00' 00" FOR A DISTANCE OF 15.71 FEET TO A POINT OF TANGENCY; THENCE RUN NORTH 11° 49' 37" EAST FOR A DISTANCE OF 240.00 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 10.00 FEET, WITH A CHORD BEARING OF NORTH 56° 49' 37" EAST, AND A CHORD DISTANCE OF 14.14 FEET; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90° 00' 00" FOR A DISTANCE OF 15.71 FEET TO A POINT OF TANGENCY; THENCE RUN SOUTH 78° 10' 23" EAST FOR A DISTANCE OF 105.00 FEET; THENCE RUN NORTH 11° 49' 37" EAST FOR A DISTANCE OF 52.00 FEET; THENCE RUN SOUTH 78° 10' 23" EAST FOR A DISTANCE OF 331.00 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 76.00 FEET, WITH A CHORD BEARING OF SOUTH 53° 59' 31" EAST, AND A CHORD DISTANCE OF 62.26 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 48° 21' 43" FOR A DISTANCE OF 64.15 FEET TO A POINT ON A NON TANGENT LINE; THENCE RUN NORTH 11° 49' 37" EAST FOR A DISTANCE OF 189.01 FEET TO A POINT ON AFORESAID SOUTH LINE OF VALENCIA WATER CONTROL DISTRICT C–1 CANAL ZW; THENCE RUN THE FOLLOWING COURSES ALONG SAID SOUTH LINE: SOUTH 78° 19' 52" EAST FOR A DISTANCE OF 121.12 FEET; THENCE RUN SOUTH 11° 40' 08" WEST FOR A DISTANCE OF 10.00 FEET; THENCE RUN SOUTH 78° 19' 54" EAST FOR A DISTANCE OF 319.38 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHERLY HAVING A RADIUS OF 873.93 FEET, WITH A CHORD BEARING OF SOUTH 77° 22' 34" EAST, AND A CHORD DISTANCE OF 29.13 FEET; THENCE RUN EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 01° 54' 36" FOR A DISTANCE OF 29.13 FEET TO A POINT ON A NON TANGENT LINE; THENCE RUN SOUTH 13° 34' 43" WEST FOR A DISTANCE OF 5.00 FEET TO A POINT ON A NON TANGENT CURVE, CONCAVE SOUTHERLY HAVING A RADIUS OF 868.42 FEET, WITH A CHORD BEARING OF SOUTH 71° 10' 08" EAST, AND A CHORD DISTANCE OF 159.10 FEET; THENCE RUN EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 10° 30' 41" FOR A DISTANCE OF 159.32 FEET TO A POINT OF TANGENCY; THENCE RUN SOUTH 65° 54' 36" EAST FOR A DISTANCE OF 61.40 FEET TO THE POINT OF BEGINNING.
CONTAINS 13.31 ACRES MORE OR LESS.

SURVEYOR'S NOTES:

1. BEARINGS HEREON ARE ASSUMED AND BASED ON THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 13–24–28 BEING NORTH 00°19'51" WEST.

2. ALL LOT LINES ARE RADIAL, UNLESS OTHERWISE NOTED NON–RADIAL (N.R.).

3. ALL PLATTED UTILITY EASEMENTS, INCLUDING WITHOUT LIMITATION THE UTILITY EASEMENT LOCATED ON TRACT R–1, SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.

4. THE LANDS DESCRIBED AND PLATTED HEREIN ARE SUBJECT TO THAT CERTAIN DECLARATION OF COVENANTS, CONDITIONS, EASEMENTS AND RESTRICTIONS FOR PARADISO GRANDE, RECORDED IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA (THE "DECLARATION") AND ANY SUPPLEMENTS AND/OR AMENDMENTS THERETO.

5. THE GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT, (THE CDD) FOR THE LANDS SHOWN HEREON WAS ESTABLISHED THROUGH THE BOARD OF COUNTY COMMISSIONERS OF ORANGE COUNTY, FLORIDA, IN DOCUMENT NO. 20190730865 AND RE:RECORDED IN DOCUMENT NO. 20190734506 ON OCTOBER 22, 2019.

6. TRACT R–1 (PUBLIC ROADWAY TRACT) SHALL BE OWNED AND MAINTAINED BY THE CDD AND ARE RESERVED FOR THE USE AND BENEFIT OF THE FOLLOWING ENTITIES AND FOR THE FOLLOWING PURPOSES:
(i) THE CDD FOR THE PURPOSE OF EXERCISING ALL POWERS AND RESPONSIBILITIES DELEGATED TO THE CDD
(ii) THE OWNERS OF THE LOTS WITHIN THE PROPERTY, AS DEFINED IN THE DECLARATION, FOR THE PURPOSES OF ACCESS TO AND FROM PUBLIC STREETS AND LOTS LYING ADJACENT TO SUCH ACCESS TRACTS, AND;
(iii) ORANGE COUNTY AND ITS EMPLOYEES AND AGENTS SOLELY FOR THE PURPOSE OF PERFORMING MUNICIPAL AND GOVERNMENTAL FUNCTIONS REASONABLY NECESSARY TO PROVIDE FOR AND PROTECT THE HEALTH, SAFETY, AND WELFARE OF THE PROPERTY AND OWNERS THEREOF OR RESIDENTS THEREON, AS WELL AS OWNER'S GUESTS AND INVITEES, INCLUDING BUT NOT LIMITED TO, POLICE, FIRE, AND EMERGENCY MEDICAL SERVICES. ANY ACCESS IMPROVEMENTS AND APPURTENANCES AND RELATED FACILITIES CONSTRUCTED WITHIN THE ACCESS TRACTS ARE NOT DEDICATED TO THE PUBLIC, BUT ARE PRIVATE, AND SHALL BE MAINTAINED BY THE ASSOCIATION.
(iv) PUBLIC UTILITY ACCESS & MAINTENANCE, A UTILITY EASEMENT IS HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC OVER THE ENTIRETY OF TRACT R–1.
(v) A PUBLIC ACCESS EASEMENT IS HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC.

7. TRACT AE–1 (ACCESS TRACT) SHALL BE OWNED AND MAINTAINED BY THE PARADISO GRANDE PROPERTY OWNERS ASSOCIATION, INC. (THE ASSOCIATION), AND IS FOR THE BENEFIT OF THE ADJOINING PROPERTY OF PARC CORNICHE, A CONDOMINIUM, AS RECORDED IN CONDO BOOK 16, PAGES 94 THROUGH 105, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. AS PROVIDED FOR IN THE DECLARATION. A UTILITY EASEMENT IS HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC OVER THE ENTIRETY OF TRACT AE–1. AN ACCESS EASEMENT IS HEREBY GRANTED FOR THE BENEFIT OF THE AFORESAID PARC CORNICHE CONDOMINIUM, THEIR RESIDENTS AND THEIR GUEST ALONG WITH POLICE, FIRE AND EMERGENCY MEDICAL SERVICES.

8. AN EMERGENCY ACCESS EASEMENT OVER THE CDD PUBLIC STORM DRAINAGE CONVEYANCE SYSTEM WITHIN TRACT R–1, TRACTS D–1 AND D–2, AND OVER THE DRAINAGE EASEMENTS SHOWN HEREON IS HEREBY DEDICATED TO ORANGE COUNTY FOR EMERGENCY MAINTENANCE PURPOSES IN THE EVENT INADEQUATE MAINTENANCE OF THE STORM DRAINAGE SYSTEM CRATES A HAZARD TO THE PUBLIC'S HEALTH, SAFETY, AND GENERAL WELFARE. THE EMERGENCY EASEMENT GRANTED ABOVE DOES NOT IMPOSE ANY OBLIGATION, BURDEN, RESPONSIBILITY OR LIABILITY UPON ORANGE COUNTY TO ENTER UPON THE SUBJECT PROPERTY AND TAKE ANY ACTION TO REPAIR OR MAINTAIN THE CDD PUBLIC DRAINAGE SYSTEM.

9. THE VALENCIA WATER CONTROL DISTRICT DRAINAGE AND ACCESS EASEMENT (V.W.C.D.D.A.E) DEPICTED HEREON IS TO BE DEDICATED TO THE VALENCIA WATER CONTROL DISTRICT. A STATUTORY CORPORATION EXISTING UNDER THE LAWS OF THE STATE OF FLORIDA, FORMERLY KNOWN AS VALENCIA DRAINAGE DISTRICT; AND SAID DEDICATION HAS BEEN ACKNOWLEDGED AND ACCEPTED BY VIRTUE OF THAT CERTAIN "JOINDER AND CONSENT TO PLAT" RECORDED IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA CONCURRENTLY WITH THE RECORDING OF THIS PLAT.

10. TRACT P–1 (PARK) IS DEDICATED TO AND MAINTAINED BY THE ASSOCIATION.

11. THE LANDS SHOWN HEREON HAVE BEEN PREVIOUSLY USED AS A GOLF COURSE.

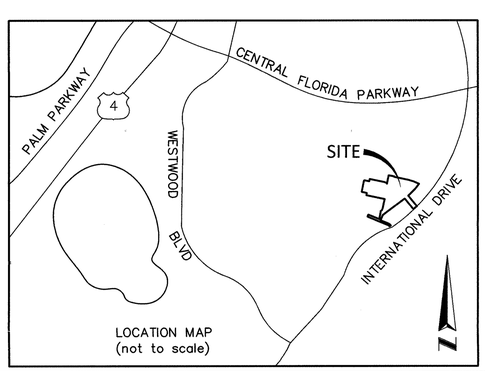
12. THE PROPERTY DESCRIBED HEREON IS SUBJECT TO THE FOLLOWING BLANKET EASEMENTS AND AGREEMENTS RECORDED IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA:
OFFICIAL RECORDS BOOK 3819, PAGE 439: ACCESS EASEMENT (LANDSCAPE AREAS).
DOC# 20190335745: SITE WORK EASEMENT AND NOTICE OF ESCROW EASEMENT.
DOC# 20190335746: DEVELOPMENT AGREEMENT AND GRANT OF EASEMENTS.
DOC# 20190335747: EASEMENT AGREEMENT AND AMENDMENT RECORDED PER DOC# 20210211103.
DOC# 20210211109: SIGNAGE EASEMENT AGREEMENT

LEGEND:

P.B.	Plat Book
O.R.	Official Records Book
PG(S).	Page(s)
P.C.	point of curvature
P.T.	point of tangency
P.I.	point of intersection
C.B.	chord bearing
CH	chord length
Δ	central angle
L	arc length
R/W	right–of–way
CCR #	Certified Corner Record Number
DOC #	Official Records Document Number of the Public Records of Orange County, Florida
C.B.	Condo Book
N.T.	non tangent
■	set 4" x 4" concrete monument LB 6723 permanent reference monument (P.R.M.)
LLC	limited liability company
V.W.C.D.D.A.E.	Valencia Water Control District Drainage and Access Easement
•	change in direction no corner set
	change in direction along right–of–way lines
℄	centerline
◉	set nail & disk LB 6723 permanent control point (P.C.P.)
U.E.	utility easement
R	radius
N.R.	non radial
P.C.C.	point of compound curvature
P.R.C.	point of reverse curvature

SHEET INDEX
SHEET 1 of 3 – legal description, dedication, legend & surveyors notes
SHEET 2–3 of 3 – boundary information & tract geometry

ALLEN & COMPANY
Professional Surveyors & Mappers
16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 654–5355



LOCATION MAP
(not to scale)

CERTIFICATE OF APPROVAL BY PROPERTY OWNERS ASSOCIATION

THIS IS TO CERTIFY, that on March 4, 2022 the foregoing plat and Tracts AE–1 and P–1 depicted thereon have been accepted and approved by the Paradiso Grande Property Owners Association, Inc.

Paradiso Grande Property Owners Association, Inc. (CORPORATE SEAL)

By: Amanda Whitney

THE PROPERTY SHOWN HEREON REPRESENTS THE LANDS INCLUDED IN THE GRANDE PINES PARCEL 11D PRELIMINARY SUBDIVISION PLAN (CASE NO. CDR 20–02–045) AS APPROVED BY THE ORANGE COUNTY BOARD OF COUNTY COMMISSIONERS ON OCTOBER 13, 2020.

NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

QUALIFICATION STATEMENT OF SURVEYOR AND MAPPER

KNOW ALL MEN BY THESE PRESENTS, that I the undersigned, being a licensed surveyor and mapper, do hereby certify that on March 13, 2020 completed the survey of the lands as shown in the foregoing plat or plan: that said plat is a true and correct representation of the lands surveyed and platted and was prepared under my direction and supervision; that permanent reference monuments have been placed as shown thereon; and this plat complies with all the survey requirements of Chapter 177, Florida Statutes; and that said land is located in Orange County, Florida.

By: _____ Date: 3/1/22

James L. Rickman P.S.M. # 5633
Allen & Company
Licensed Business # 6723
16 East Plant Street, Ste 210
Winter Garden, Florida 34787

KNOW ALL MEN BY THESE PRESENTS, THAT THE GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT, A LOCAL UNIT OF SPECIAL PURPOSE GOVERNMENT ESTABLISHED UNDER CHAPTER 190, FLORIDA STATUTES, HEREBY ACCEPTS TRACT R–1 (PUBLIC ROADWAY) AND TRACTS D–1 AND D–2 (STORMWATER) BY THE ABOVE DEDICATION AND ALSO RECORDING OF THIS PLAT, AND SAID TRACT IS INTENDED FOR THE GENERAL USE OF THE PUBLIC.

IN WITNESS WHEREOF, GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT, A LOCAL UNIT OF SPECIAL PURPOSE GOVERNMENT ESTABLISHED UNDER CHAPTER 190, FLORIDA STATUTES HAS CAUSED THESE PRESENTS TO BE SIGNED BY THE AUTHORIZED AGENT NAMED BELOW:

BY: GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT, A LOCAL UNIT OF SPECIAL PURPOSE GOVERNMENT ESTABLISHED UNDER CHAPTER 190, FLORIDA STATUTES.

SIGNATURE OF WITNESS
Tiffany Barbour
PRINTED NAME OF WITNESS

SIGNATURE OF WITNESS
Sugandha Sharma
PRINTED NAME OF WITNESS

BY: Amanda Whitney
NAME: Amanda Whitney
TITLE: President

STATE OF FLORIDA COUNTY OF Orange

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME, BY MEANS OF [✓] PHYSICAL PRESENCE OR [ ] ONLINE NOTARIZATION, THIS 4th DAY OF March, 2022, BY Amanda Whitney AS President, OF GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT, A LOCAL UNIT OF SPECIAL PURPOSE GOVERNMENT ESTABLISHED UNDER CHAPTER 190, FLORIDA STATUTES. SUCH PERSON [✓] IS PERSONALLY KNOWN TO ME OR [ ] HAS PRODUCED _____ AS IDENTIFICATION.

NOTARY PUBLIC
Notary Public State of Florida Suhiel Rojas My Commission GG 941815 Expires 12/22/2023
Signature: Suhiel Rojas
Printed Name: Suhiel Rojas
Commission No.: GG941815
My Commission Expires: December 22nd, 2023

CERTIFICATE OF APPROVAL BY ZONING DIRECTOR

Examined and Approved _____ 3.7.22
Zoning Director Date

PARADISO GRANDE PHASE 1

DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED, PARK SQUARE GRANDE PINES, LLC, A FLORIDA LIMITED LIABILITY COMPANY IS THE LAWFUL OWNER OF THE LANDS DESCRIBED IN THE CAPTION HEREON, AND THAT THE OWNERS HAVE CAUSED THE SAME TO BE SURVEYED, AND THIS PLAT, MADE IN ACCORDANCE WITH SAID SURVEY, IS HEREBY ADOPTED AS THE TRUE AND CORRECT PLAT OF SAID LANDS, AND HEREBY DEDICATES THE UTILITY EASEMENTS (U.E.) TO THE PERPETUAL USE OF THE PUBLIC.

TRACT LS–1 (LIFT STATION) IS HEREBY DEDICATED IN FEE SIMPLE TO ORANGE COUNTY WITHOUT ANY RESTRICTION WHATSOEVER. COUNTY OWNERSHIP OF THIS TRACT AND ANY IMPROVEMENTS THEREON VESTS UPON APPROVAL OF THIS PLAT BY THE BOARD OF COUNTY COMMISSIONERS OF ORANGE COUNTY, FLORIDA. RECORDING OF THIS PLAT SHALL ACT AS CONVEYANCE TO ORANGE COUNTY AND NO FURTHER INSTRUMENT SHALL BE NECESSARY TO VEST FEE SIMPLE TITLE IN ORANGE COUNTY AS AFOREMENTIONED.

TRACT R–1 (PUBLIC ROADWAY), AND TRACTS D–1 AND D–2 (STORMWATER), ARE HEREBY DEDICATED IN FEE SIMPLE TO THE GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT WITHOUT ANY RESTRICTION WHATSOEVER.

IN WITNESS WHEREOF, THE UNDERSIGNED, PARK SQUARE GRANDE PINES, LLC, A FLORIDA LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE EXECUTED AND ACKNOWLEDGED BY ITS UNDERSIGNED AUTHORIZED SIGNATORY THEREUNTO DULY AUTHORIZED ON THIS 4th DAY OF March 2022.

BY: PARK SQUARE GRANDE PINES, LLC, A FLORIDA LIMITED LIABILITY COMPANY.

SIGNATURE OF WITNESS
Judith Combs
PRINTED NAME OF WITNESS

SIGNATURE OF WITNESS
Daniel Arnette
PRINTED NAME OF WITNESS

BY:
NAME: SURESH GUPTA
TITLE: MANAGER

STATE OF FLORIDA
COUNTY OF Orange

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF [✓] PHYSICAL PRESENCE OR [ ] ONLINE NOTARIZATION THIS 2 DAY OF March, 2022, BY SURESH GUPTA AS MANAGER OF PARK SQUARE GRANDE PINES, LLC, A FLORIDA LIMITED LIABILITY COMPANY SUCH PERSON [✓] IS PERSONALLY KNOWN TO ME OR [ ] HAS PRODUCED _____ AS IDENTIFICATION.

NOTARY PUBLIC
JUDITH K. COMBS MY COMMISSION # HH 111611 EXPIRES: May 10, 2025 Bonded Thru Notary Public Underwriters
Signature:
Printed Name: Judith Combs
Commission No.: HH111611
My Commission Expires: 5/10/25

CERTIFICATE OF REVIEW BY COUNTY SURVEYOR

This plat has been reviewed for conformity with Chapter 177, Florida Statutes.

William R. Mustello Jr. 3.7.22
County Surveyor Date

CERTIFICATE OF APPROVAL BY COUNTY ENGINEER

Examined and Approved Diana M. Alonso 3.7.22
County Engineer Date

CERTIFICATE OF APPROVAL BY BOARD OF COUNTY COMMISSIONERS

THIS IS TO CERTIFY, that on March 9, 2022 the foregoing plat was approved by the Board of County Commissioners of Orange County, Florida.

Orange County

Attest: Phil Diamond
Clerk of the Board.

for By: _____ D.C.

BOARD OF COUNTY COMMISSIONERS ORANGE COUNTY FLORIDA

CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY, that the foregoing plat was recorded in the Orange County Official Records

on 03/09/2022 as Doc.# 20220159132

County Comptroller in and for Orange County, Florida.

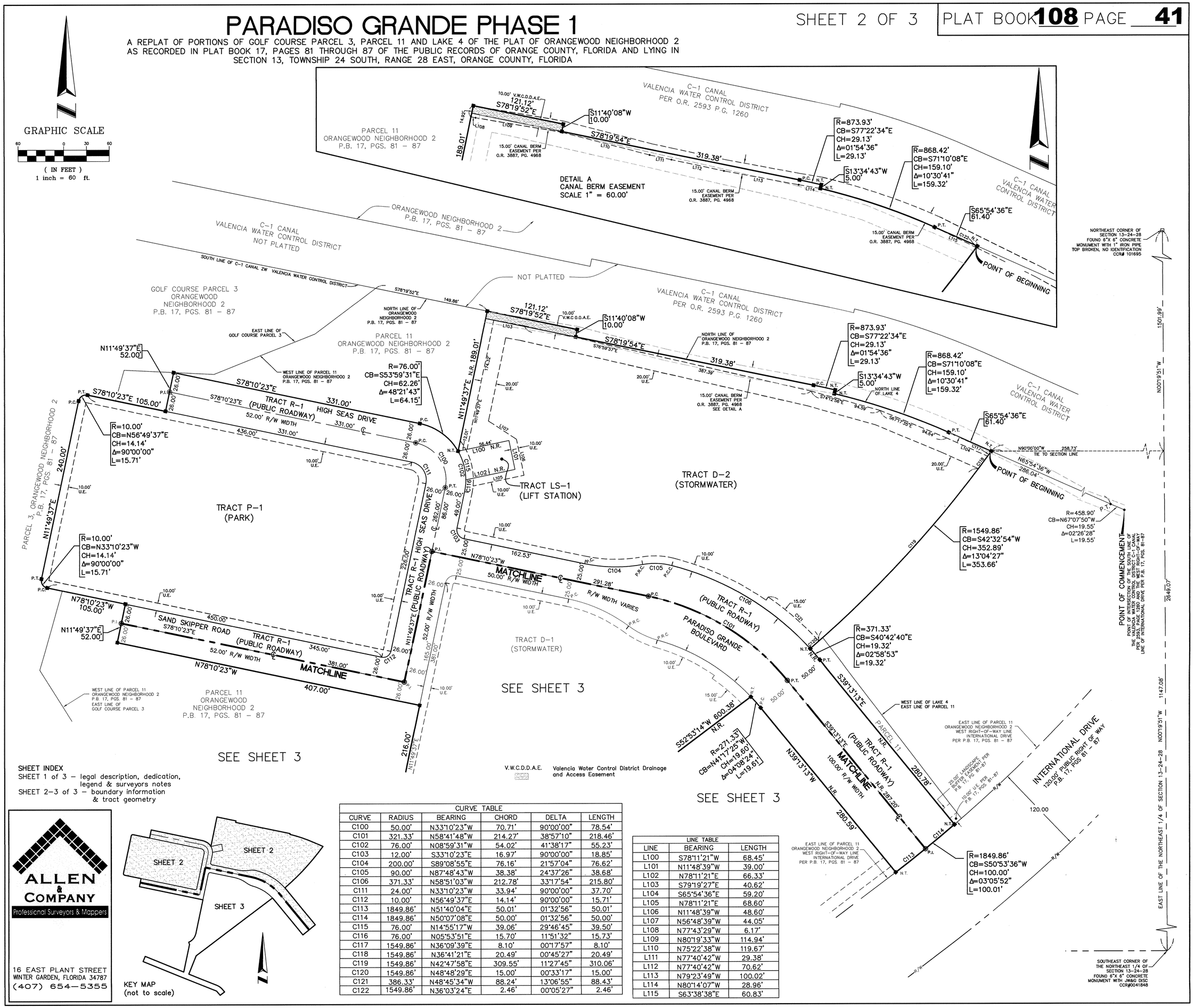
By Rebecca Kane

COUNTY COMPTROLLER SEAL ORANGE COUNTY FLORIDA

PARADISO GRANDE PHASE 1

A REPLAT OF PORTIONS OF GOLF COURSE PARCEL 3, PARCEL 11 AND LAKE 4 OF THE PLAT OF ORANGEWOOD NEIGHBORHOOD 2 AS RECORDED IN PLAT BOOK 17, PAGES 81 THROUGH 87 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AND LYING IN SECTION 13, TOWNSHIP 24 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA

PLAT BOOK 108 PAGE 41



SHEET INDEX
SHEET 1 of 3 – legal description, dedication, legend & surveyors notes
SHEET 2–3 of 3 – boundary information & tract geometry

ALLEN & COMPANY
Professional Surveyors & Mappers
16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 654–5355

KEY MAP
(not to scale)

CURVE TABLE

CURVE	RADIUS	BEARING	CHORD	DELTA	LENGTH
C100	50.00'	N33°10'23"W	70.71'	90°00'00"	78.54'
C101	321.33'	N58°41'48"W	214.27'	38°57'10"	218.46'
C102	76.00'	N08°59'31"W	54.02'	41°38'17"	55.23'
C103	12.00'	S33°10'23"E	16.97'	90°00'00"	18.85'
C104	200.00'	S89°08'55"E	76.16'	21°57'04"	76.62'
C105	90.00'	N87°48'43"W	38.38'	24°37'26"	38.68'
C106	371.33'	N58°51'03"W	212.78'	33°17'54"	215.80'
C111	24.00'	N33°10'23"W	33.94'	90°00'00"	37.70'
C112	10.00'	N56°49'37"E	14.14'	90°00'00"	15.71'
C113	1849.86'	N51°40'04"E	50.01'	01°32'56"	50.01'
C114	1849.86'	N50°07'08"E	50.00'	01°32'56"	50.00'
C115	76.00'	N14°55'17"W	39.06'	29°46'45"	39.50'
C116	76.00'	N05°53'51"E	15.70'	11°51'32"	15.73'
C117	1549.86'	N36°09'39"E	8.10'	00°17'57"	8.10'
C118	1549.86'	N36°41'21"E	20.49'	00°45'27"	20.49'
C119	1549.86'	N42°47'58"E	309.55'	11°27'45"	310.06'
C120	1549.86'	N48°48'29"E	15.00'	00°33'17"	15.00'
C121	386.33'	N48°45'34"W	88.24'	13°06'55"	88.43'
C122	1549.86'	N36°03'24"E	2.46'	00°05'27"	2.46'

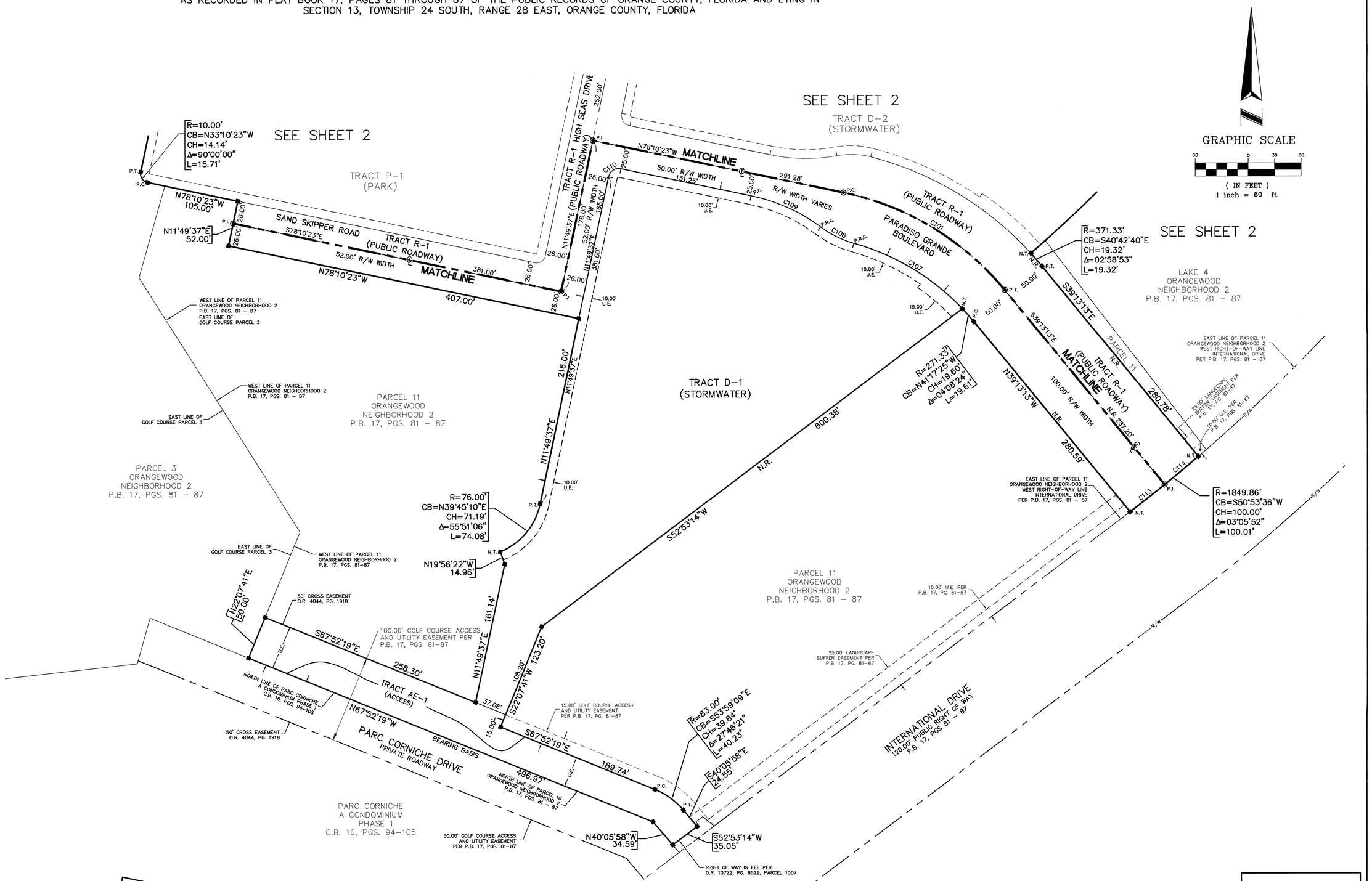
LINE TABLE

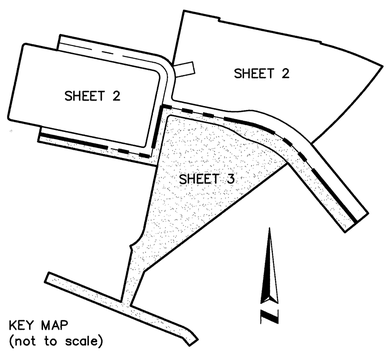
LINE	BEARING	LENGTH
L100	S78°11'21"W	68.45'
L101	N11°48'39"W	39.00'
L102	N78°11'21"E	66.33'
L103	S79°19'27"E	40.62'
L104	S65°54'36"E	59.20'
L105	N78°11'21"E	68.60'
L106	N11°48'39"W	48.60'
L107	N56°48'39"W	44.05'
L108	N77°43'29"W	6.17'
L109	N80°19'33"W	114.94'
L110	N75°22'38"W	119.67'
L111	N77°40'42"W	29.38'
L112	N77°40'42"W	70.62'
L113	N79°23'49"W	100.02'
L114	N80°14'07"W	28.96'
L115	S63°38'38"E	60.83'

PARADISO GRANDE PHASE 1

A REPLAT OF PORTIONS OF GOLF COURSE PARCEL 3, PARCEL 11 AND LAKE 4 OF THE PLAT OF ORANGEWOOD NEIGHBORHOOD 2 AS RECORDED IN PLAT BOOK 17, PAGES 81 THROUGH 87 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AND LYING IN SECTION 13, TOWNSHIP 24 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA

PLAT BOOK 108 PAGE 42





SHEET INDEX
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CURVE TABLE					
CURVE	RADIUS	BEARING	CHORD	DELTA	LENGTH
C101	321.33'	N58°41'48"W	214.27'	38°57'10"	218.46'
C107	271.33'	N58°46'56"W	144.31'	30°50'38"	146.06'
C108	115.00'	S63°40'14"E	42.05'	21°04'01"	42.28'
C109	200.00'	N65°39'18"W	86.70'	25°02'09"	87.39'
C110	12.00'	S56°49'37"W	16.97'	90°00'00"	18.85'
C113	1849.86'	N51°40'04"E	50.01'	01°32'56"	50.01'
C114	1849.86'	N50°07'08"E	50.00'	01°32'56"	50.00'

ALLEN & COMPANY
Professional Surveyors & Mappers
16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 654–5355

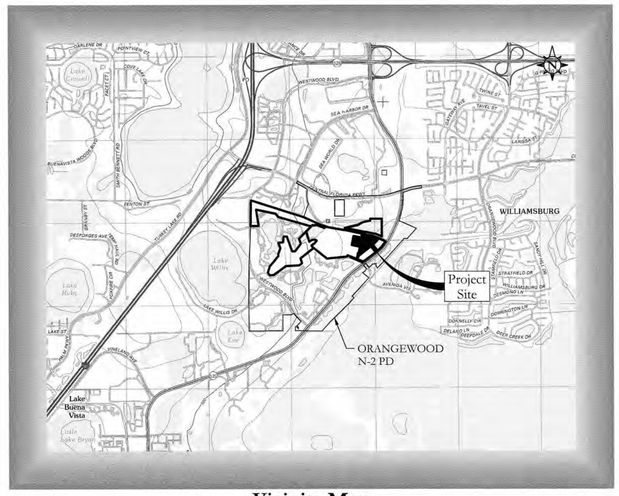
Construction Plans
for
Grande Pines
Orangewood N-2 PD Parcel 11D Phase 1
PSP-15-03-060, Orange County Project No. B18906728
Orange County, FL

Parcel Id. No.:

13-24-28-6283-00-110 (Partial)
13-24-28-6283-07-010 (Partial)
13-24-28-6283-12-040 (Partial)

Owner:
AG-RW Grande Pines, LLC
54A Hanover Road, Suite 310
Florham Park, NJ 07932

Owner/Developer/Applicant:
Park Square Homes
5200 Vineland Rd, Suite 200
Orlando, FL 32811



Vicinity Map
Scale: 1" = 3,000'

Sheet Index

Sheet Id.	Sheet Title	Subm./Rev. 1	2	3	4	5	6	7	8
C0.01A - C0.01B	Construction Notes	■		■					
C0.02	Existing Conditions & Topography	■							
C1.00 - C1.01	Demolition & Erosion Control Plan	■	■						
C2.00	Master Site Plan & Site Data	■	■					■	■
C2.01	Typical Road Sections & Details	■	■					■	
C4.00	Grading Plan	■	■					■	
C5.00	Drainage & Wastewater Plan	■	■	■				■	
C5.01 - C5.02	Grading Details	■	■	■					
C5.10	Control Structures	■							
6 C5.20	Utility Site Plan	■		■		■	■	■	
C5.30	Water Distribution Plan	■		■		■		■	
C5.40	Reclaimed Water Distribution Plan	■		■				■	
6 C5.50 - C5.51	Utility Asset Tables	■				■	■	■	
C6.00 - C6.03	Plan & Profiles	■		■				■	
6 C7.00 - C7.01	Offsite Improvements & Details	■				■	■		
C8.00	Fire Protection Plan			■					
C9.10 - C9.12	General Construction Details	■							
C9.20	Standard Water Details	■							
C9.30	Standard Wastewater Details	■							
C9.40 - C9.42	Standard Lift Station Details	■				■			■
	Landscape Architectural Drawings							■	
L400	Overall Landscape Plan	■						■	
L401 - L404	Landscape Plan Code	■						■	
L410	Landscape Details And Notes	■						■	
L500 - L504	Overall Irrigation Plan							■	
L510	Irrigation Details & Notes							■	

	Date	Description
	12/20/2018	Submit to Orange County
1	2/21/2019	Resubmit to Valencia Water Control District
2	4/17/2019	Resubmit to Valencia Water Control District
3	5/28/2019	Resubmit to Orange County
	5/29/2019	Bid Set
4	8/8/2019	Resubmit to Orange County
5	8/30/2019	Resubmit to Orange County
6	9/26/2019	Revise Forcemain Connection
7	6/09/2020	Resubmit (Revised layout per client)
8	10/13/2020	Resubmit to Orange County
9	11/11/2020	Resubmit to Orange County

NOTE:
CONSTRUCTION PLANS WERE PREPARED IN ACCORDANCE WITH THE LATEST MANUAL OF UNIFORM STANDARDS FOR DESIGN, CONSTRUCTION, AND MAINTENANCE FOR STREETS AND HIGHWAYS, FDOT GREEN BOOK, AND THE ORANGE COUNTY REGULATIONS AND SPECIFICATIONS.

JOB COPY
Approved Plans
Orange County Building Division
Approved By RP
Date 1-6-21 Permit # B18906728
This Approval does not grant permission to violate any Applicable code. Encroachment of any part of this improvement can result in a cloud on the title of this property.
Keep this plan on the job site at all times.

OCCUPANCY CLASS U
TYPE CONST VB

ORANGE COUNTY
Division of Building Safety

CHRISTINA M. BAXTER
LICENSE
No. 67547
STATE OF FLORIDA
PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
DATE: November 12, 2020

Civil Engineer:
Poulos & Bennett, LLC
2602 E Livingston St
Orlando, FL 32803
407.487.2594

Surveyor:
Allen & Company
16 East Plant St.
Winter Garden, FL 34787
407.654.5355

Geotechnical Engineer:
Universal Engineering Sciences
3532 Maggie Blvd.
Orlando, FL 32811
407.423.0504
407.423.3106

Environmental:
Bio-Tech Consulting, Inc.
2002 East Robinson St.
Orlando, FL 32803
407.894.5969

Landscape Architect:
Bonnett Design Group, LLC
400 South Orlando Ave., Suite 201
Maitland, FL 32751
407.622.1588

POULOS & BENNETT

B18906728
Date 11-20-2020 Layer 3R

Z:\2018\18-007 PARK SQUARE - GRANDE PINES SFR\PHASE 1 - AMENITY\CAD\FINAL\COUNTY\18007-PH1-CS

GENERAL NOTES:

1. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL CONDITIONS CONTAINED THEREIN. PERMITS INCLUDED (BUT NOT NECESSARILY LIMITED TO) ARE:
   - WATER MANAGEMENT DISTRICT CONSUMPTIVE USE (WATER USE) FOR CONSTRUCTION DEWATERING (CUP)
   - WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMIT (ERP) OR MSSW WATER MANAGEMENT DISTRICT WETLAND RESOURCE PERMIT
   - FDEP WATER DISTRIBUTION
   - FDEP SANITARY SEWER COLLECTION AND TRANSMISSION
   - FDEP REUSE
   - FDEP DREDGE AND FILL
   - ACOE NATIONWIDE OR INDIVIDUAL DREDGE AND FILL
   - LOCAL RIGHT OF WAY USE
   - LOCAL UNDERGROUND UTILITIES
   - FDOT DRIVEWAY CONNECTION
   - FDOT UTILITY
   - FDOT STORMWATER DISCHARGE CONNECTION
   - FDEP & EPA NPDES STORMWATER
   - FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION TORTOISE INCIDENTAL TAKE
2. CONTRACTOR IS ADVISED THAT THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY REQUIRES THAT OPERATORS FILE A NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NPDES GENERAL PERMIT PRIOR TO BEGINNING WORK. IN THE STATE OF FLORIDA THE FLORIDA DEPARTENT OF ENVIRONMENTAL PROTECTUON IS THE PERMITTING AGENCY. IT IS CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN SAME. A COPY SHALL BE SENT TO OWNER.
3. FLORIDA LAW (F.S. 556 – THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT) PROTECTION OF UNDERGROUND PIPELINES MANDATES THAT "NO EXCAVATOR SHALL COMMENCE OR PERFORM ANY EXCAVATION IN ANY PUBLIC OR PRIVATE STREET, ALLEY, RIGHT-OF-WAY DEDICATED TO THE PUBLIC USE, OR GAS UTILITY EASEMENT WITHOUT FIRST OBTAINING INFORMATION CONCERNING THE POSSIBLE LOCATION OF GAS PIPELINES IN THE AREA OF THE PROPOSED EXCAVATION." THIS INCLUDES ANY OPERATION UTILIZING HAND TOOLS OR POWER TOOLS WHICH MOVES OR REMOVES ANY STRUCTURE, EARTH, ROCK, OR OTHER MASS OF MATERIAL BY SUCH METHODS AS DIGGING, BACKFILLING, DEMOLITION, GRADING, DITCHING, DRILLING, BORING AND CABLE PLOWING. THE EXCAVATOR MUST NOTIFY THE GAS UTILITY A MINIMUM OF 48 HOURS AND A MAXIMUM OF 5 DAYS PRIOR TO EXCAVATING (EXCLUDING SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS).
4. IT IS THE CONTACTOR'S RESPONSIBILITY TO SECURE THE PROJECT SITE DURING CONSTRUCTION, TO PREVENT TRESPASSING OF UNAUTHORIZED PEDESTRIANS AND/OR VEHICLES IN ALL WORK AREAS. THE CONTRACTOR SHALL POST SIGNS, CONSTRUCT BARRIERS OR IMPLEMENT OTHER METHODS NECESSARY TO CONTROL ACCESS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR TRESPASSING ON THE CONSTRUCTION SITE OR DAMAGES TO ANY WORK RELATED THERETO.
5. CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE-CALL OF FLORIDA, INC. PRIOR TO COMMENCEMENT OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS; INCLUDING BUT NOT LIMITED TO WATER, RECLAIMED WATER, SEWER, POWER, TELEPHONE, GAS AND CABLE TV COMPANIES.
6. PRIOR TO COMMENCEMENT, CONTRACTOR SHALL PROVIDE POULOS & BENNETT WITH CONSTRUCTION SCHEDULE FOR VARIOUS SITE WORK ELEMENTS SO THAT PERIODIC SITE VISITS MAY BE COORDINATED TO ENSURE TIMELY CERTIFICATION OF COMPLETION TO AGENCIES AND AVOID DELAYS IN ISSUANCE OF CERTIFICATES OF OCCUPANCY/COMPLETION.
7. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST STANDARDS OF ALL APPLICABLE AGENCIES.ALL EXISTING UTILITIES HAVE BEEN FIELD VERIFIED (VERTICALLY AND HORIZONTALLY) AT ALL POINTS OF CONNECTION AND AT ALL AREAS OF CONFLICT WITH OCU INFRASTRUCTURE.

   ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND OWNER IN WRITING. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO DIFFERING SITE CONDITIONS WILL BE ALLOWED IF CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE ENGINEER AND OWNER.
8. AS PART OF THE CLEARING AND GRUBBING OPERATION, THE CONTRACTOR IS TO REMOVE ALL FENCING AND/OR EXISTING FACILITIES FROM THE SITE. CONTRACTOR IS RESPONSIBLE FOR CONDUCTING SITE VISIT TO UNDERSTAND THE EXISTING CONDITIONS OF THE SITE. IF REMOVAL OF EXISTING FACILITIED IS NOT INCLUDED IN THE BASE BID, THEN IT SHALL BE SPECIFICALLY IDENTIFIED.
9. CONTRACTOR SHALL PROTECT WETLANDS AND ALL ADJACENT PROPERTIES FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES.
10. MAINTAIN MINIMUM 3' COVER OVER PROPOSED GRAVITY SANITARY, FORCE MAIN, WATER AND REUSE LINES, UNLESS OTHERWISE NOTED.
11. CONCRETE SIDEWALKS (AS SPECIFIED BY APPROPRIATE ROADWAY SECTION) ADJACENT TO ALL LOTS TO BE INSTALLED BY HOME BUILDER. SIDEWALKS ADJACENT TO PONDS, PARKS, AND OPEN SPACE, AS SHOWN ON PLANS, ARE TO BE CONSTRUCTED WITH INFRASTRUCTURE. ALL POND ACCESS TRACT SIDEWALK SHALL BE 6" MINIMUM.
12. DURING CONSTRUCTION, WHEN COMBUSTIBLES ARE BROUGHT ON TO THE SITE, ACCESS ROADS AND A SUITABLE TEMPORARY OR PERMANENT SUPPLY OF WATER ACCEPTABLE TO THE FIRE DEPARTMENT.
13. ALL RECOMMENDATIONS AND REQUIREMENTS OF INSPECTION PERSONNEL OTHER THAN OWNER'S SHALL BE REPORTED TO ENGINEER/OWNER/OWNERS REPRESENTATIVE PRIOR TO IMPLEMENTATION. COMPENSATION WILL NOT BE ALLOWED FOR WORK WHICH IS NOT AUTHORIZED BY ENGINEER/OWNER.
14. CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED, WHETHER SHOWN IN THE PLANS OR DESIGNATED IN THE FIELD. CONTRACTOR SHALL BECOME FAMILIAR WITH AND CONFORM WITH ALL TREE PROTECTION/PRESERVATION PROVISIONS OF THE CONTRACT DOCUMENTS AND LOCAL GOVERNMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT AND MITIGATION COSTS FOR ANY TREES REMOVED THAT WERE DESIGNATED TO BE PRESERVED.
15. ALL WORK SHALL BE OPEN TO AND SUBJECT TO INSPECTION BY AUTHORIZED PERSONNEL OF THE CITY, COUNTY, OWNER, INVOLVED UTILITY COMPANIES, PROJECT ENGINEER AND REGULATORY AGENCIES.
16. CONTRACTOR SHALL CONFIRM COMPATIBILITY OF PIPE SLOPES AND INVERTS DURING SHOP DRAWING AND MATERIALS ORDERING PHASE OF PROJECT AND ADVISE ENGINEER OF ANY DISCREPANCIES.
17. NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS OR AS APPROVED BY ENGINEER/OWNER IN WRITING.
18. ALL FDOT DESIGN INDICES ARE HEREBY INCORPORATED AS PLAN REFERENCES HEREIN. CONTRACTOR IS RESPONSIBLE FOR OBTAINING COMPLETE COPIES OF ALL APPLICABLE INDEX DRAWINGS AND CONSTRUCTING ALL WORKS IN CONFORMANCE WITH THE FDOT ROADWAY AND TRAFFIC STANDARD PLANS, LATEST EDITION.
19. CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE (PLAT(S) (ROAD CENTERLINE GEOMETRY AND BUILDING COORDINATES PROVIDED IN THESE PLANS). CONTRACTOR SHALL CONFIRM WITH THE ENGINEER THAT THE PLAT IS CURRENT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONFIRM THE BUILDING DIMENSIONS SHOWN HEREIN WITH THOSE IN THE FINAL ARCHITECTURAL DRAWINGS PRIOR TO STAKEOUT. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, INCLUDING MINIMUM BUILDING SETBACKS PRIOR TO THE INSTALLATION OF ANY IMPROVEMENT.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SURVEY MONUMENTATION. DISTURBED MONUMENTATION SHALL BE RESTORED BY A FLORIDA-LICENSED LAND SURVEYOR SELECTED BY THE OWNER AT CONTRACTOR'S SOLE EXPENSE
21. IMMEDIATELY AT ONSET OF CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES CRITICAL TO COMPLETING THE PROJECT (INCLUDING WATER, REUSE, SEWER, POWER, TELEPHONE, GAS, AND CABLE TV) AND SHALL EVALUATE POTENTIAL CONFLICTS. ALL SUCH CONFLICTS SHALL BE REPORTED TO ENGINEER/OWNER IMMEDIATELY UPON DISCOVERY.
22. CONTRACTOR SHALL INSTRUCT THE GEOTECHNICAL TESTING LABORATORY PROVIDING CONSTRUCTION TESTING TO PROVIDE POULOS & BENNETT WITH COPIES OF ALL SITE-WORK TEST REPORTS AS THEY ARE GENERATED. CONTRACTOR SHALL MAINTAIN THE RESPONSIBILITY OF CONSTRUCTING THE PROJECT IN STRICT ACCORDANCE WITH THE PROJECT PLANS, SPECIFICATIONS AND REQUIREMENTS. RECEIPT OF COPIES OF GEOTECHNICAL REPORTS BY POULOS & BENNETT IN NO WAY OBLIGATES POULOS & BENNETT TO ANY REVIEW, COMMENTS OR ACTIONS REGARDING THE WORK.
23. DEWATERING IS NOT ANTICIPATED FOR THIS PROJECT. HOWEVER, IF DEWATERING IS REQUIRED, THEN DISCHARGE OF GROUNDWATER FROM DEWATERING OPERATIONS REQUIRES APPROVAL FROM ORANGE COUNTY, FDEP AND THE APPLICABLE WATER MANAGEMENT DISTRICT. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL DEWATERING PERMITS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR(S) TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
24. WORK SHALL BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT THROUGH THE U.S. DEPARTMENT OF LABOR AND THE FLORIDA TRENCH SAFETY ACT.

AS-BUILT NOTES:

1. THE CONTRACTOR SHALL SUBMIT A CERTIFIED SET OF RECORD DRAWINGS TO THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING INFORMATION ON THE APPROVED PLANS CONCURRENTLY WITH CONSTRUCTION PROGRESS. RECORD DRAWINGS SUBMITTED TO THE ENGINEER AS PART OF THE PROJECT ACCEPTANCE SHALL COMPLY WITH MUNICIPALITY REQUIREMENTS AND THE FOLLOWING REQUIREMENTS.
   - 1.1. THE VERTICAL AND HORIZONTAL DATUMS USED SHALL BE AS STATED ON THE DRAWINGS.
   - 1.2. DRAWINGS SHALL BE LEGIBLY MARKED TO RECORD ACTUAL CONSTRUCTION.
   - 1.3. DRAWINGS SHALL SHOW ACTUAL LOCATION OF ALL UNDERGROUND AND ABOVE GROUND STORM DRAINAGE, POTABLE WATER AND WASTEWATER PIPING, AND RELATED APPURTENANCES. ALL CHANGES TO PIPING LOCATION INCLUDING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES AND APPURTENANCES SHALL BE CLEARLY SHOWN AND REFERENCED TO PERMANENT SURFACE IMPROVEMENTS. DRAWINGS SHALL ALSO SHOW ACTUAL INSTALLED PIPE MATERIAL, CLASS, ETC.
   - 1.4. DRAWINGS SHALL CLEARLY INDICATE VERTICAL AND HORIZONTAL SEPARATION BETWEEN POTABLE WATER MAIN AND STORM DRAINAGE/SANITARY SEWER/RECLAIMED WATER MAINS AT POINTS OF CROSSING IN ACCORDANCE WITH FDEP CRITERIA AND UTILITY PROVIDER REQUIREMENTS.
   - 1.5. DRAWINGS SHALL CLEARLY SHOW ALL FIELD CHANGES OF DIMENSION AND DETAIL INCLUDING CHANGES MADE BY FIELD ORDER OR BY CHANGE ORDER.
   - 1.6. DRAWINGS SHALL CLEARLY SHOW ALL DETAILS NOT ON ORIGINAL CONTRACT DRAWINGS, BUT CONSTRUCTED IN THE FIELD. ALL EQUIPMENT AND PIPING RELOCATION SHALL BE CLEARLY SHOWN.
   - 1.7. LOCATION OF ALL INLETS, MANHOLES, HYDRANTS, VALVES, AND VALVE BOXES SHALL BE SHOWN. ALL VALVES SHALL BE REFERENCED FROM AT LEAST TWO AND PREFERABLY THREE PERMANENT POINTS OR BY STATE PLANE COORDINATES OR OTHER UTILITY PROVIDER ACCEPTABLE REFERENCE.
   - 1.8. DIMENSIONS BETWEEN ALL INLETS AND MANHOLES SHALL BE FIELD VERIFIED, AND THE INVERTS AND GRADE ELEVATIONS OF ALL INLETS AND MANHOLES SHALL BE SHOWN.
   - 1.9. CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY FOR POND GRADING. AS-BUILT POND CONTOURS SHALL BE PROVIDED AT TOP OF BANK, POND BOTTOM, AND ALL GRADE BREAKS AND ELEVATIONS SPECIFIED ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-GRADING POND SLOPES THAT ARE STEEPER THAN REQUIRED PER PLAN (HORIZONTAL:VERTICAL) TO A DEPTH OF 2 FT MINIMUM BELOW THE SLWT.
   - 1.10. WHERE THE POTABLE WATER MAIN CROSSES OTHER UTILITIES (STORM, GRAVITY SEWER, FORCEMAIN AND RECLAIMED WATER), THE CERTIFIED AS-BUILT DRAWINGS SHALL CLEARLY INDICATE THE CONSTRUCTED ELEVATIONS, ALONG WITH PHOTOGRAPHS OF EACH CROSSING, IN SUCH A WAY THAT THE VERTICAL SEPARATION BETWEEN THE WATER MAIN AND OTHER UTILITIES MAY BE VERIFIED BY THE ENGINEER. FAILURE TO PROVIDE THIS INFORMATION WILL RESULT IN THE CONTRACTOR EXCAVATING AND SURVEYING THE UTILITIES AT THE CONTRACTOR'S SOLE EXPENSE.
   - 1.11 WHERE THE POTABLE WATER MAIN CROSSES OTHER UTILITIES (STORM, GRAVITY SEWER, FORCEMAIN AND RECLAIMED WATER), THE CERTIFIED AS-BUILT DRAWINGS SHALL CLEARLY INDICATE THE LOCATIONS OF PIPE JOINTS IN SUCH A MANNER AS TO DEMONSTRATE THE PIPE IS CENTERED AT ALL THE CROSSING. FAILURE TO PROVIDE THIS INFORMATION WILL RESULT IN THE CONTRACTOR EXCAVATING AND SURVEYING THE UTILITIES AT THE CONTRACTOR'S SOLE EXPENSE.
   - 1.12 WHERE UPGRADED PIPE MATERIALS ARE SHOWN IN THE PLANS OR AS DIRECTED IN THE FIELD BY THE ENGINEER OR MUNICIPALITY, THE LENGTH, LOCATIONS, FITTINGS, ETC. FOR UPGRADED PIPE SHALL BE SHOWN ON THE AS-BUILT DRAWINGS, RECORD DRAWINGS OR PHOTOS.
   - 1.13. CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY FOR ALL PARK AND OPEN SPACE TRACTS GRADING. ENGINEER WILL CONFIRM COMPLIANCE WITH AGENCY REQUIREMENTS AND NOTIFY CONTRACTOR IF REMEDIAL ACTION IS NECESSARY.
2. CONTRACTOR TO PLACE GRADE STAKES AT CENTER OF FRONT AND REAR LIMITS OF EACH BUILDING PAD FOR OWNER/ENGINEER INSPECTION AND APPROVAL.
3. COMPLETE CERTIFIED AS-BULT DRAWINGS SHALL BE PROVIDED TO THE ENGINEER PRIOR TO BACTERIOLOGICAL TESTING. FAILURE TO PROVIDE ACCURATE DRAWINGS MAY RESULT IN EXPIRED TEST RESULTS AND REQUIRE ADDITIONAL TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
4. IN ORANGE COUNTY THE CONTRACTOR SHALL SUBMIT TWO (2) CERTIFIED COPIES AND EXCEL FILES OF THE COMPLETED UTILITY ASSET TABLES USING THE OCU STANDARD ASSET TABLES TEMPLATE AVAILABLE ON THEIR WEBSITE. COMPLETE ASSET TABLE REQUIRED PRIOR TO ANY CERTIFICATION OF RESPECTIVE SYSTEM. COORDINATE DATA SHALL BE PROVIDED IN STATE PLANE COORDINATES.

6\. AS-BUILT DRAWINGS SHALL BE PREPARED IN ACCORDANCE WITH POULOS & BENNETT CAD STANDARDS.

7\. POTABLE WATER CROSSINGS – POULOS & BENNETT REQUIRES THAT AT LEAST TEN PERCENT (10%) OF THE POTABLE WATER CROSSINGS AND INSTALLATIONS BE FIELD VERIFIED BY POULOS & BENNETT STAFF. THE 10% TO BE FIELD VERIFIED WILL BE IDENTIFIED BY POULOS & BENNETT PRIOR TO CONSTRUCTION AND PROVIDED TO THE SITE CONTRACTOR.

8\. IN ORANGE COUNTY COMPLETE AS-BUILTS AND ASSET TABLES, MEETING OCU MANUAL OF STANDARD AND CONSTRUCTION SPECIFICATIONS (DATED APRIL 2011), SHALL BE PROVIDED TO POULOS & BENNETT FOR REVIEW AND APPROVAL. PAY APPLICATIONS REQUESTING PAYMENT BEYOND 80% OF CONTRACT AMOUNT, PER SYSTEM, MAY BE HELD AT THE DISCRETION OF THE OWNER UNTIL THE AS-BUILTS AND ASSET TABLES ARE DEEMED COMPLETE BY POULOS & BENNETT.

EROSION CONTROL NOTES:

1. DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO INSURE AGAINST POLLUTING, SILTING OR DISTURBING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING SURFACE WATERS. SUCH MEASURES MAY INCLUDE, BUT NOT LIMITED TO, CONSTRUCTION OF TEMPORARY EROSION CONTROL STRUCTURES, SUCH AS SEDIMENT BASINS, SEDIMENT CHECKS, OR SILT BARRIERS.
2. SODDING OF DETENTION PONDS SHALL BE ACCOMPLISHED WITHIN SEVEN (7) DAYS FOLLOWING COMPLETION OF GRADING TO MINIMIZE EROSION POTENTIAL.
3. AT A MINIMUM, THE RETENTION/DETENTION STORAGE AREA MUST BE EXCAVATED TO ROUGH GRADE PRIOR TO BUILDING CONSTRUCTION OR PLACEMENT OF IMPERVIOUS SURFACE WITHIN THE AREA TO BE SERVED BY THOSE FACILITIES TO PREVENT REDUCTION IN STORAGE VOLUME AND PERCOLATION RATES. ALL ACCUMULATED SEDIMENT MUST BE REMOVED FROM THE STORAGE AREA PRIOR TO FINAL GRADING AND STABILIZATION.
4. IF DURING CONSTRUCTION, THE PROPOSED EROSION CONTROL SYSTEM DOES NOT PERFORM SATISFACTORILY, ALTERNATIVES AND ADDITIONAL METHODS OF PROTECTION SHALL BE IMPLEMENTED BY THE CONTRACTOR IN ORDER TO COMPLY WITH EPA, W.M.D, AND CITY/COUNTY EROSION PROTECTION STANDARDS. CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR ALL EROSION CONTROL COSTS INCLUDING ANY COSTS ASSOCIATED WITH COMPLIANCE ISSUES AND ENFORCEMENT ACTIONS.
5. IN ORANGE COUNTY THE CONTRACTOR WILL BE REQUIRED TO SUBMIT A DETAILED EROSION CONTROL PLAN FOR REVIEW AND APPROVAL A MINIMUM OF 2 WORKING DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING. AT A MINIMUM, THE EROSION CONTROL PLAN SHALL PROPOSE SILT SCREEN OR SYNTHETIC BALES AND TURBIDITY BARRIERS, IN ACCORDANCE WITH NPDES REQUIREMENTS.
6. 2' STRIP OF SOD SHALL BE PLACED BEHIND BACK OF CURB.
7. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE COMPLETED WITHIN 7 DAYS OF FINAL GRADING. ALL TEMPORARY EROSION CONTROL SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE COMPLETED AND ESTABLISHED.
8. ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH NPDES REQUIREMENTS.
9. CONTRACTOR SHALL REMAIN RESPONSIBLE FOR OPERATION AND MAINTENANCE OF POLLUTION PROTECTION MEASURES UNITL CONSTRUCTION HAS BEEN COMPLETED IN SUBSTANTIAL CONFORMANCE WITH THE CONTRACT PLANS AND CERTIFIED AS SUCH BY POULOS & BENNETT, WHETHER OR NOT CONTRACTOR HAS SUBMITTED A NOTICE OF TERMINATION (NOT) TO FDEP.

SURVEY AND CONTROL NOTES:

1. BENCHMARK LOCATION AND ELEVATION ARE AS REPRESENTED BY SURVEYOR AT THE TIME OF THE SURVEY. CONTRACTOR SHALL VERIFY ITS CORRECTNESS AT TIME OF CONSTRUCTION.

PAVING, DRAINAGE AND GRADING NOTES:

1. THE CONTRACTOR SHALL INSTALL, AS PART OF THE INFRASTRUCTURE AND PRIOR TO CERTIFICATE OF COMPLETION, DROP CURBS AND HANDICAP RAMPS AT ALL INTERSECTIONS OF SIDEWALK WITH THE PROPOSED PAVEMENT TO MEET STATE OF FLORIDA ACCESSIBILITY CODE AND FEDERAL A.D.A. REQUIREMENTS.
2. CONTRACTOR IS RESPONSIBLE FOR OBTAINING FDEP GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUND WATER FROM ANY NON-CONTAMINATED SITE ACTIVITY IN ACCORDANCE OF FLORIDA ADMINISTRATIVE CODE 62-621.300 (2), 62-620, AND FLORIDA STATUTES CHAPTER 403.
3. DURING CONSTRUCTION, THE GEOTECHNICAL ENGINEER PROVIDING PROJECT TESTING SHALL MONITOR CONSTRUCTION CONDITIONS AND PROVIDE RECOMMENDATIONS FOR ADDITIONAL ROADWAY UNDERDRAINS AS NEEDED. ENGINEER SHALL BE NOTIFIED OF ANY SUCH RECOMMENDATIONS.

PAVING, DRAINAGE AND GRADING NOTES:

4. ALL UPLAND DEVELOPMENT ONSITE AREA, EXCLUDING LANDSCAPE AREAS, SHALL, AT A MINIMUM, BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180 TEST METHOD. THIS REQUIREMENT APPLIES TO ALL WORK PREPARED BY THE GENERAL CONTRACTOR AND SUB-CONTRACTORS PERFORMING WORK ONSITE. ENGINEER RESERVES RIGHT TO WITHHOLD PAYMENT FOR ANY AREA THAT DOES NOT MEET DENSITY AS SPECIFIED.
5. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE AND ROPE OFF CONSERVATION AREA LINES. OWNER RESERVES THE RIGHT TO CHECK THE STAKING AND ROPING AND REQUIRE IT TO BE RELOCATED IF NECESSARY. IT SHALL REMAIN IN PLACE UNTIL ADJACENT CONSTRUCTION IS COMPLETE.
6. ALL SIGNAGE, PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH FDOT "STANDARD PLANS" AND FHWA "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES"; LATEST EDITIONS.
7. REGULATORY SIGNS (STOP, ETC.) SHALL BE IN PLACE PRIOR TO FINAL INSPECTION OF PAVING AND DRAINAGE IMPROVEMENTS. UNLESS SIGNAGE IS PROVIDED BY THE MUNICIPALITY
8. PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCE BETWEEN CENTERLINES OF DRAINAGE STRUCTURES AND FROM INVERTS OF ENDWALLS AND/OR MITERED END SECTIONS. BIDDERS SHALL ADJUST FOR PIPE LENGTHS WHEN BIDDING MITERED END SECTIONS.
9. CONTRACTOR SHALL NOT COMPACT, STABILIZE, OR CONSTRUCT BASE COURSE WITHIN LANDSCAPE ISLANDS, TRACTS OR MEDIANS. WHERE SUCH TREATMENT DOES OCCUR, IT SHALL BE REMOVED AND REPLACED WITH SUITABLE PLANTING SOILS ACCEPTABLE TO OWNER'S LANDSCAPE ARCHITECT.
10. ALL PAVEMENT RETURN RADII SHALL BE 25' AND MEASURED FROM THE INTERFACE TO THE CONCRETE CURB AND PAVEMENT SURFACE UNLESS OTHERWISE NOTED.
11. SITE GRADING, PAVING AND DRAINAGE MATERIALS AND CONSTRUCTION SHALL CONFORM TO FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION (AND TO ORANGE COUNTY STANDARD SPECIFICATIONS).
12. STORM DRAINS SHALL BE REINFORCED CONCRETE PIPE, PER ASTM C-76 CLASS III, UNLESS OTHERWISE SPECIFIED. LIFTING HOLES ARE PROHIBITED.
13. UNDERDRAIN SHALL BE HEAVY-DUTY CORRUGATED POLYETHLENE PIPE WITH FACTORY-INSTALLED FILTER FABRIC AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS (ADS), OR APPROVED EQUAL
14. UNDERDRAIN DISCHARGE PIPE SHALL BE PVC PER ASTM D3034 SDR 35 WITH ELASTOMERIC JOINTS, NON-PERFORATED.
15. YARD DRAINS SHALL BE NYOPLAST INLINE DRAINS AND DRAIN BASINS AS APPLICABLE WITH CAST IRON GRATES AND WATERTIGHT ADAPTER CONNECTIONS (OR APPROVED EQUAL).
16. YARD DRAIN PIPING: PVC CONFORMING TO ASTM D3034, SDR35 SHALL BE USED FOR ALL PIPE RUNS IN WHICH ANY PART LIES UNDER PAVED AREAS. SAID PVC OR HEAVY DUTY CORRUGATED POLYETHYLENE MAY BE USED FOR ALL OTHER RUNS. MATERIAL SELECTION SHALL BE CONSISTENT THROUGHOUT THE PROJECT.
17. DITCH BOTTOM AND CONTROL STRUCTURE INLET GRATES SHALL BE SECURED WITH CHAIN AND EYEBOLT.
18. FIVE (5) FEET OF SOD IS REQUIRED AROUND ALL DITCH BOTTOM INLETS, MANHOLES, HEADWALLS AND MITERED END SECTIONS.
19. THE LIMITS OF THE POND TRACTS SHALL BE SODDED FROM TRACT LIMITS TO 2' BELOW NCL. IN THE CASE OF DRY BOTTOM PONDS, THE BOTTOM WILL BE SEEDED AND MULCHED UNLESS OTHERWISE SPECIFIED.
20. BLUE REFLECTIVE PAVEMENT MARKERS FOR ALL FIRE HYDRANTS SHALL BE PLACED IN THE CENTER OF THE NEAREST TRAVELED LANE TO MARK THEIR LOCATIONS.
21. TOP ELEVATIONS OF MANHOLES IN GRASSED AREAS SHALL BE AT MINIMUM 4 INCHES ABOVE FINISH GRADE.
22. MINIMUM LONGITUDINAL SLOPE OF CURB SHALL BE 0.30% UNLESS SPECIFIED OTHERWISE.
23. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE DOCUMENTATION, FOR ADS STORM PIPE, FROM THE PIPE MANUFACTURER CONFIRMING THAT SUFFICIENT COVER HAS BEEN PROVIDED TO PREVENT FLOTATION. IN THE EVENT THAT ADEQUATE COVER IS NOT PROVIDED, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN DESIGN AND CONSTRUCTION SPECIFICATIONS FROM THE MANUFACTURER, FOR THE ADS PIPE ANCHORING SYSTEM. IF ADS STORM PIPE IS USED THEN MITERED END SECTIONS (MES) MAY BE SUBSTITUTED FOR FLARED END SECTIONS (FES) AT PIPE RUN TERMINATIONS.
24. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING PROPER TRAFFIC MAINTENANCE AND CONTROLS IN ACCORDANCE WITH REGULATORY STANDARDS. WHERE A TRAFFIC MAINTENANCE PLAN IS REQUIRED, THE CONTRACTOR SHALL HAVE THE PLAN PREPARED BY AN FDOT CERTIFIED DESIGNER AND SUBMIT THE PLAN FOR APPROVAL.
25. GEOTECHNICAL SERVICES HAVE BEEN PROVIDED AS REFERENCED BELOW. GEOTECHNICAL RECOMMENDATIONS ARE NOT THE RESPONSIBILITY OF POULOS & BENNETT. POULOS & BENNETT HAS RELIED ON THE BELOW REFERENCED GEOTECHNICAL REPORT(S) IN PREPARATION OF THE DRAWINGS. ANY CONFLICT BETWEEN INFORMATION WITHIN THE REPORT AND THESE DRAWINGS SHALL BE REPORTED TO ENGINEER/OWNER. POULOS & BENNETT ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS, COMPLETENESS OR ACCURACY OF GEOTECHNICAL INFORMATION.

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26. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENTS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE A SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. SHALL AREAS OF POOR DRAINAGE BE OBSERVED, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PLACEMENT OF CURBS OR PAVEMENT COURSES, SO THAT RECOMMENDATIONS FOR CORRECTION MAY BE MADE.
27. FINISHED FLOOR ELEVATION IS TYPICALLY 8" INCHES ABOVE DESIGN FINISHED GRADE AT OUTSIDE PERIMETER OF BUILDINGS EXCEPT AT ENTRIES AND WHERE OTHERWISE SHOWN.
28. 100-YEAR FLOOD ELEVATIONS SHOWN HEREIN ARE DERIVED FROM (FEMA/FLOOD INSURANCE RATE MAP OF 12095C0415F, COMMUNITY PANEL #415, DATED 9/25/09)
29. ALL DISTURBED FDOT AND COUNTY RIGHTS OF WAY SHALL BE RESTORED. SOD SHALL BE PLACED FROM EDGE OF PAVEMENT TO THE TOE OF BANK AND ALL AREAS SHALL MATCH OR EXCEED PRECONSTRUCTION CONDITIONS.
30. FINISHED FLOOR ELEVATIONS ARE MINIMUM ELEVATIONS REQUIRED TO SATISFY DRAINAGE AND/OR 100-YEAR FLOODPLAIN REQUIREMENTS. PAD ELEVATIONS, IMMEDIATELY OUTSIDE OF BUILDING WALLS SHALL BE NO MORE THAN 8 INCHES BELOW THE FINISHED FLOOR ELEVATIONS SHOWN UNLESS STEM WALLS OR TURN DOWN SLABS PROVIDE FOR ADDITIONAL ELEVATION TRANSITIONS.
31. ALL OFF-SITE DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION, OR BETTER.
32. OVER-EXCAVATION OF RETENTION BASINS SHALL NOT BE ALLOWED UNLESS SPECIFICALLY AUTHORIZED BY ENGINEER/OWNER. SHALL UNAUTHORIZED OVER-EXCAVATION OCCUR, IT SHALL BE BACKFILLED, REGRADED, RESODDED AND/OR RESEEDED AS REQUIRED BY OWNER AT CONTRACTOR'S EXPENSE TO OWNER'S SPECIFICATIONS.
33. CONTRACTOR SHALL REMOVE ALL MUCK DEPOSITS IN CONSTRUCTION AREAS AND AREAS TO BE FILLED. SEE GEOTECHNICAL REPORT.
34. ENGINEER RESERVES THE RIGHT TO WITHHOLD AUTHORIZATION FOR PAYMENT FOR ANY ROADWORK WHICH HAS NOT BEEN TESTED BY A FLORIDA-REGISTERED GEOTECHNICAL ENGINEER AND REPORTED TO CONFORM TO PROJECT SPECIFICATIONS.
35. ROAD GRADING AND CONSTRUCTION SHALL INCLUDE BRINGING ANY UTILITY EASEMENTS, AS SHOWN OR NOTED ON THE PLAT OR CONSTRUCTION DRAWINGS, ADJACENT TO THE RIGHT-OF-WAY LINE TO WITHIN 6 INCHES OF FINAL DESIGN GRADE. LOT GRADING REQUIREMENT MAY BE MORE STRINGENT.
36. INLETS WHICH ARE GRAPHICALLY SHOWN ON LOT LINES AND NOT OTHERWISE LOCATED BY STATIONING SHALL BE LOCATED SUCH THAT THE CENTERLINE OF THE INLET TOP IS ALIGNED WITH THE LOT LINE.
37. DRAINAGE MANHOLES AND INLETS (NOT INCLUDING CONTROL STRUCTURES) IN THE PLANS ARE IDENTIFIED BY TOP TYPE ONLY. CONTRACTOR SHALL PROVIDE STANDARD DITCH BOTTOM INLET, J OR P STRUCTURE BOTTOMS, SIZED AS REQUIRED TO ACCOMMODATE PIPE SIZES AND ORIENTATIONS SHOWN. SHOP DRAWINGS SHALL BE SUBMITTED WHICH CLEARLY REPRESENT SUCH DATA.
38. NEW PIPES SHALL BE CONNECTED TO EXISTING PIPES AT AN EXISTING FACTORY MADE JOINT. REMOVE PARTIAL PIPES IF AND AS NEEDED.
39. CONTRACTOR SHALL STABILIZE AND PROTECT ALL END WALL, MITERED END SECTION, FLARED END SECTION, ETC. STRUCTURES THROUGHOUT THE PROJECT UNTIL THE BANK SLOPES OF THE RECEIVING WATER BODY ARE STABILIZED AND ACCEPTED BY OWNER.
40. CONTRACTOR/BIDDER SHALL OBSERVE OFFSITE ROADWAYS FOR FRICTION COURSE REMOVAL AND RESTORATION REQUIREMENTS AND FOR LEVELING COURSE REQUIREMENTS WHICH SHALL BE INCLUDED IN THE BID AND IN THE WORK.
41. THIS PROJECT WAS DESIGNED TO BE IN COMPLIANCE WITH [AORANGE COUNTY STANDARDS/ORDINANCE. THE DEGREE OF FLOOD PROTECTION AND SURFACE AND GROUNDWATER PROTECTION REQUIRED BY THIS STANDARD/ORDINANCE IS CONSIDERED REASONABLE FOR REGULATORY PURPOSES AND IS BASED ON SCIENTIFIC AND ENGINEERING CONSIDERATIONS. LARGER FLOODS CAN AND WILL OCCUR ON RARE OCCASIONS. FLOOD HEIGHTS MAY BE INCREASED BY MANMADE OR NATURAL CAUSES. THIS STANDARD/ORDINANCE DOES NOT IMPLY THAT LAND OUTSIDE AREAS OF SPECIAL FLOOD HAZARD AREAS OR USES PERMITTED WITHIN SUCH AREAS WILL BE FREE FROM FLOODING OR DAMAGES. THIS STANDARD/ORDINANCE SHALL NOT CREATE LIABILITY ON THE PART OF POULOS & BENNETT LLC OR BY ANY OTHER OFFICER OR EMPLOYEE THERE FOR ANY FLOOD DAMAGES OR ADVERSE EFFECTS OF CHANGES IN QUANTITY OR QUALITY OF SURFACE OR GROUNDWATER THAT RESULT FROM RELIANCE ON THIS STANDARD/ORDINANCE OR ANY ADMINISTRATIVE DECISION MADE THERE UNDER.
42. THE CONTRACTOR SHALL INSTALL, AS PART OF THE INFRASTRUCTURE AND PRIOR TO CERTIFICATE OF COMPLETION, DROP CURBS AND HANDICAP RAMPS AT ALL INTERSECTIONS OF THE SIDEWALK WITH THE PROPOSED PAVEMENT TO MEET ORANGE COUNTY AND ADA SPECIFICATIONS.

POTABLE WATER NOTES:

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN COMPLIANCE WITH AWWA STANDARDS AND IN ACCORDANCE WITH LOCAL GOVERNMENT STANDARDS.
2. PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCES BETWEEN FITTINGS OF BRANCHES AND MAINS.
3. DEFLECTIONS AT PIPE JOINTS SHALL NOT EXCEED THOSE RECOMMENDED BY THE PIPE MANUFACTURER.
4. ALL GATE VALVES SHALL BE EQUIPPED WITH AN ADJUSTABLE CAST IRON VALVE BOX WITH COVER, WITH THREADED CAST BRONZE EXTENSIONS WHERE NEEDED.
5. ALL PUBLIC WATER SYSTEM COMPONENTS, EXCLUDING FIRE HYDRANTS, THAT WILL BE INSTALLED UNDER THIS PROJECT AND THAT WILL COME INTO CONTACT WITH DRINKING WATER WILL CONFORM TO NSF INTERNATIONAL STANDARD 61 AND WILL BE MARKED WITH THE NSF SEAL OF APPROVAL.
6. ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL BE COLOR CODED IN ACCORDANCE WITH SUB PARAGRAPH 62-555.320(21)(B)3, F.A.C. USING BLUE AS A PREDOMINANT COLOR. ALL DUCTILE IRON WATER MAINS SHALL BE MARKED WITH A CONTINUOUS STRIPE LOCATED WITHIN THE TOP 90 DEGREES OF THE PIPE. SAID STRIPE SHALL BE A MINIMUM 2 INCHES IN WIDTH AND SHALL BE BLUE IN COLOR. BACKFILL SHALL NOT BE PLACED FOR 30 MINUTES FOLLOWING PAINT APPLICATION. FOR PIPE WITH AN INTERNAL DIAMETER OF 24" OR GREATER, TAPE OR PAINT SHALL BE APPLIED IN CONTINUOUS LINES A LONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE.
7. ALL NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH A CONTINUOUS, INSULATED 10 GAUGE COPPER WIRE INSTALLED DIRECTLY ON TOP OF THE PIPE FOR LOCATION PURPOSES. SEE STANDARD DRAWINGS. IN ADDITION, ALL PVC WATER MAINS SHALL BE A SOLID BLUE COLOR. ALL LETTERING SHALL APPEAR LEGIBLY ON PIPE AND SHALL RUN THE ENTIRE LENGTH OF THE PIPE. LETTERING SHALL READ AS IS ACCEPTABLE FOR THE INTENDED USE.
8. HYDROSTATIC TESTING AND THE DISINFECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE DONE IN ACCORDANCE WITH THE AWWA STANDARDS. HYDROSTATIC TESTING TO BE DONE IN ACCORDANCE WITH AWWA C-600 FOR DUCTILE IRON PIPE AND C-605 FOR PVC PIPE. DISINFECTING AND BACTERIOLOGICAL EVALUATION TO BE DONE IN ACCORDANCE WITH AWWA C-651 AND RULE 62-555.340 F.A.C.
9. MARK SERVICES WITH 6' HIGH PIECE OF 2" X 4" PLANK PAINTED BLUE WITH LOT NUMBER CLEARLY MARKED AND A 'W' IMPRESSED IN THE CURB. IT IS THE INTENT THAT EVERY LOT IS CONSISTENT WITH A WATER SERVICE; THEREFORE IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL A WATER SERVICE TO EACH LOT.
10. PIPE MATERIALS:

    PVC – ALL PIPE, PIPE FITTINGS, PIPE JOINT PACKING AND JOINTING MATERIALS, VALVES, FIRE HYDRANTS, AND METERS INSTALLED UNDER THIS PROJECT SHALL CONFORM TO APPLICABLE AWWA STANDARDS AND SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C900, LATEST EDITION. PVC SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C900. THE PVC SHALL HAVE A MINIMUM WORKING PRESSURE OF 150 P.S.I. AND SHALL HAVE A DIMENSION RATIO (DR) OF 18. PIPE SHALL BE THE SAME O.D. AS DUCTILE IRON PIPE.

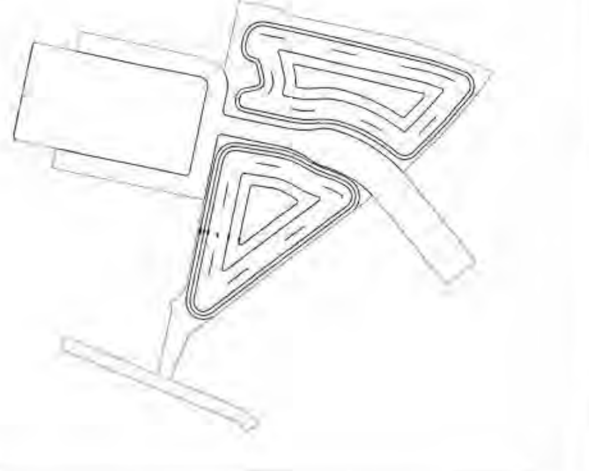
    PVC JOINT – SHALL BE IN ACCORDANCE WITH ASTM D3139.

    DUCTILE IRON – SHALL CONFORM TO ANSI/AWWA C150/C151. A MINIMUM OF CLASS 50 PIPE SHALL BE SUPPLIED.

    DUCTILE IRON JOINT – SHALL BE IN ACCORDANCE WITH ANSI A21.11 AND AWWA C111.

    SERVICES – SHALL BE IN ACCORDANCE WITH AWWA C901/C800 STANDARDS FOR POLYETHYLENE TUBING, CLASS 160.
11. WATER MAIN CONNECTION SHALL BE MADE UNDER THE SUPERVISION OF LOCAL GOVERNMENT . ALL VALVES SHALL BE OPERATED BY LOCAL GOVERNMENT PERSONNEL ONLY. WATERMAINS ARE TO BE DISINFECTED PER ANSI/AWWA C651-92 AND LOCAL GOVERNMENT STANDARDS
12. VERTICAL SEPARATION BETWEEN UNDERGROUND POTABLE WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES:
    - NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
    - NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
13. AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSING, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
14. HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS:
    - NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
    - NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
    - NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
    - NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.
15. A MINIMUM OF 3 FEET OF COVER SHALL BE MAINTAINED OVER WATERMAINS, UNLESS OTHERWISE NOTED.
16. ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL CONTAIN NO MORE 8.0% LEAD, AND ANY SOLDER OR FLUX USED IN THIS PROJECT SHALL CONTAIN NO MORE THAN 0.2% LEAD.
17. NEW OR ALTERED DEAD-END WATER MAINS INCLUDED IN THIS PROJECT SHALL BE PROVIDED WITH A FIRE OR FLUSHING HYDRANT OR BLOW-OFF FOR FLUSHING PURPOSES.
18. NEW OR ALTERED FIRE HYDRANT LEADS SHALL HAVE A MINIMUM INSIDE DIAMETER OF 6" AND SHALL INCLUDE AN AUXILIARY VALVE.
19. IF AGGRESSIVE SOIL CONDITIONS ARE FOUND DURING CONSTRUCTION, WATER MAINS SHALL BE PROTECTED THROUGH THE USE OF CORROSION RESISTANT MATERIALS, THROUGH ENCASEMENT OF THE WATER MAINS IN POLYETHYLENE, OR THROUGH PROVISION OF CATHODIC PROTECTION.
20. A CONTINUOUS AND UNIFORM BEDDING WILL BE PROVIDED IN TRENCHES FOR UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT; BACKFILL MATERIAL WILL BE TAMPED IN LAYERS AROUND UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT AND TO A SUFFICIENT HEIGHT ABOVE THE PIPE TO ADEQUATELY SUPPORT AND PROTECT THE PIPE; AND UNSUITABLY SIZED STONES (AS DESCRIBED IN APPLICABLE AWWA STANDARDS OR MANUFACTURERS' RECOMMENDED INSTALLATION PROCEDURES) FOUND IN TRENCHES WILL BE REMOVED FOR A DEPTH OF A LEAST SIX INCHES BELOW THE BOTTOM OF UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT.
21. CONTRACTOR SHALL NOT ACTIVATE WATER SERVICE UNTIL THE FDEP HAS CLEARED THE SYSTEM FOR USE AND THE CLEARANCE LETTER HAS BEEN RECEIVED BY THE OWNER.
22. CONTRACTOR SHALL COORDINATE ALL UTILITIES SYSTEMS TEST SCHEDULING TO ALLOW ENGINEER'S ATTENDANCE PROVIDING MINIMUM NOTICE OF FIVE (5) WORKING DAYS. CONTRACTOR'S FAILURE TO PROPERLY NOTIFY ENGINEER MAY RESULT IN RETESTING AT ENGINEER'S OPTION AND AT CONTRACTOR'S EXPENSE.
23. ENGINEER RESERVES THE RIGHT TO WITHHOLD AUTHORIZATION OF PAYMENT FOR ANY PORTION OF THE UTILITIES PIPE WORK WHICH HAS NOT BEEN TESTED (OBSERVED BY ENGINEER) AND REPORTED TO CONFORM TO PROJECT SPECIFICATIONS.
24. CONTRACTOR SHALL VERIFY SIZE AND TYPE OF EXISTING MAIN PRIOR TO ORDERING TAPPING MATERIALS FOR TIE-INS.
25. CONCRETE CURBS SHALL BE CHISELED OR IMPRINTED TO SHOW LOCATIONS OF WATER AND SEWER SERVICE LINES/LATERALS. MARKING SHALL CONFORM WITH LOCAL STANDARDS. WHERE NO STANDARDS EXIST, USE "R" FOR RECLAIMED WATER, "W" FOR WATER, AND "S" FOR SANITARY.
26. FIRE HYDRANTS WHICH ARE GRAPHICALLY SHOWN ON OR NEAR LOT LINES AND NOT OTHERWISE LOCATED BY STATIONING OR DIMENSIONING SHALL BE CENTERED ON THE LOT LINE.

Key Map:



Consultant:

NO.	DATE:	DESCRIPTIONS:
9	11/12/20	RESUBMIT TO ORANGE COUNTY
8	10/13/20	RESUBMIT TO ORANGE COUNTY
7	6/09/20	RESUBMIT (REVISED LAYOUT)
6	9/26/19	REVISE FORCEMAIN CONNECTION
5	8/30/19	RESUBMIT TO ORANGE COUNTY
4	8/8/19	RESUBMIT TO ORANGE COUNTY
	5/29/19	BID SET
3	5/28/19	RESUBMIT TO ORANGE COUNTY
2	4/17/19	RESUBMIT TO VWCD
1	2/21/19	RESUBMIT TO VWCD
	12/20/18	SUBMIT TO ORANGE COUNTY

SUBMISSIONS/REVISIONS

VERTICAL DATUM:	NAVD 88
JOB NO.:	18-007
DESIGNED BY:	CB
DRAWN BY:	CB/CSL/JSK/TF
CHECKED BY:	CB/CMB
APPROVED BY:	CMB
SCALE IN FEET:	N.T.S.

Project Name:

GRANDE PINES
ORANGEWOOD
N-2 PD
PARCEL 11D
PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

CONSTRUCTION NOTES

Sheet No.:

C0.01A

Seal:

No. 67547

CHRISTINA M. BAXTER
P.E. NO. 0067547
DATE: November 12, 2020

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Z:\2018\18-007 PARK SQUARE - GRANDE PINES SFR\PHASE 1 - AMENITY\CAD\FINAL\COUNTY\18007-PH1-GN

SANITARY SEWER NOTES:

1. IN ORANGE COUNTY ALL MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH ORANGE COUNTY MANUAL OF STANDARD SPECIFICATIONS FOR WASTEWATER AND WATERMAIN CONSTRUCTION.
2. ALL MANHOLES SHALL HAVE A MINIMUM DIAMETER OF 48 INCHES AND A MINIMUM ACCESS DIAMETER OF 22 INCHES.
3. PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCES BETWEEN MANHOLE CENTERLINE.
4. ALL SANITARY SERVICE LATERALS SHALL BE 6 INCH DIAMETER PVC. LATERALS SHALL END WITH A CLEAN OUT AT RIGHT-OF-WAY LINE.
5. INVERTS OF SANITARY SERVICE LATERALS AT THEIR CONNECTION TO SANITARY MANHOLES SHALL BE NO MORE THAN ONE (1) FOOT ABOVE THE MANHOLE INVERT.
6. PRIOR TO PAVING, CONTRACTOR SHALL VERIFY THE AS-BUILT SANITARY SEWER PIPE SLOPES. MINIMUM AS SHALL BE IN ACCORDANCE WITH FDEP MINIMUM CRITERIA BUILT FOR 8" PVC SEWER LINE SLOPE WILL BE 0.28%, FOR 12" PVC WILL BE 0.17% AND FOR 15" PVC WILL BE 0.12%. ANY LINE NOT MEETING MINIMUM SLOPE WILL BE RELAYED BY CONTRACTOR TO MEET THE MINIMUM SLOPE REQUIREMENT AT NO ADDITIONAL COST.
7. MARK LATERALS WITH 6' HIGH PIECE OF 2" X 4" PLANK PAINTED ORANGE W/ LOT NUMBER CLEARLY MARKED AND A 'S' IMPRESSED IN THE CURB.
8. LEAKAGE TESTS ARE SPECIFIED REQUIRING THAT:
   A) THE LEAKAGE EXFILTRATION OR INFILTRATION DOES NOT EXCEED 200 GALLONS PER INCH OF PIPE DIAMTETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM.
   B) EXFILTRATION OR INFILTRATION TESTS BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET.
   C) AIR TESTS, AS A MINIMUM, CONFORM TO THE TEST PROCEDURE DESCRIBED IN ASTM C-828 FOR CLAY PIPE, ASTM C924 FOR CONCRETE PIPE, ASTM F-1417 FOR PLASTIC PIPE, AND FOR OTHER MATERIALS APPROPRIATE TEST PROCEDURES. AIR TESTING, IF SPECIFIED FOR CONCRETE SEWER MANHOLES, CONFORMS TO THE TEST PROCEDURES DESCRIBED IN ASTM C-1244.
9. MANHOLE LIFT HOLES AND GRADE ADJUSTMENT RINGS BE SEALED WITH NON-SHRINKING MORTAR OR OTHER APPROPRIATE MATERIAL.
10. INLET AND OUTLET PIPES BE JOINED TO THE MANHOLE WITH A GASKETED FLEXIBLE WATER-TIGHT CONNECTION OR ANOTHER WATER-TIGHT CONNECTION ARRANGEMENT THAT ALLOWS DIFFERENTIAL SETTLEMENT OF THE PIPE AND MANHOLE WALL.
11. WATER-TIGHT MANHOLE COVERS BE USED WHEREVER THE MANHOLE TOPS MAY BE FLOODED BY STREET RUNOFF OF HIGH WATER.
12. MINIMUM SEPARATION BETWEEN POTABLE WATER LINES AND SANITARY HAZARDS (SANITARY SEWER, FORCE MAIN, STORM SEWER, REUSE WATER) SHALL BE MAINTAINED. A HORIZONTAL CLEARANCE OF TEN (10) FEET IN PARALLEL INSTALLATION AND 12 INCHES VERTICALLY AT CROSSINGS. SHALL A VERTICAL SEPARATION OF LESS THAN THAT STIPULATED BE REQUIRED, THE WATER LINE SHALL BE CONSTRUCTED OF 20 FEET OF PRESSURE TIGHT JOINT DUCTILE IRON PIPE. IF THE REQUIRED 10 FT. HORIZONTAL CLEARANCE CANNOT BE MAINTAINED, THE SEWER MAIN SHALL BE PLACED IN A D.I.P. SLEEVE OR ENCASED IN CONCRETE IN ACCORDANCE WITH FDEP SPECIFICATIONS.
13. PVC GRAVITY SEWER PIPE SHALL MEET ASTM D3034, SDR35.
14. ALL SANITARY SEWER PIPE SHALL BE COLORED GREEN.
15. FIBERGLASS LINE ALL MANHOLES WHICH RECEIVE DISCHARGE FROM A FORCEMAIN.
16. CONTRACTOR IS RESPONSIBLE FOR PROVIDING SERVICES AT EACH LOT. SERVICES SHALL HAVE 3' MIN. AND 4' MAX. COVER AT LOT CLEAN OUT.

RECLAIMED WATER NOTES:

1. PROVIDE 6" MINIMUM SEPARATION BETWEEN RECLAIMED WATER AND STORM PIPES AND A MINIMUM OF 3' OF COVER OVER THE RECLAIMED WATER MAIN. (COVER LESS THAN 3' IS ONLY ALLOWED AT SPECIFIC CROSSINGS APPROVED BY O.C.U.) PROVIDE MECHANICAL JOINTS AND FITTINGS AS NECESSARY FOR THE VERTICAL TRANSITIONS.
2. EXCEPT FOR PVC PIPE, MAXIMUM DEFLECTIONS AT PIPE JOINTS, FITTINGS AND LAYING RADIUS FOR THE VARIOUS PIPE LENGTHS SHALL NOT EXCEED 75% OF THE PIPE MANUFACTURER'S RECOMMENDATION. A MINIMUM VERTICAL CLEARANCE OF 18" SHALL BE MAINTAINED. WHERE 18" CLEARANCE IS NOT POSSIBLE, WATER AND RECLAIMED WATER WILL BE UPGRADED TO D.I.P.
3. MARK LATERALS WITH 6' HIGH PIECE OF 2" X 4" PLANK PAINTED PURPLE, AND AN R IMPRESSED IN THE CURB.
4. CASINGS WILL BE PROVIDED FOR SERVICES LOCATED UNDER LANDSCAPE MEDIANS.
5. ALL PVC RECLAIMED WATER PIPE SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS, MARKED WITH THE SEAL OF APPROVAL OF THE NATIONAL SANITATION FOUNDATION (NSF) AND BE PURPLE IN COLOR.
6. ALL DUCTILE IRON RECLAIMED WATER MAINS SHALL BE MARKED WITH A CONTINUOUS STRIPE LOCATED WITHIN THE TOP 90 DEGREES OF THE PIPE. SAID STRIPE SHALL BE A MINIMUM 2 INCHES IN WIDTH AND SHALL BE PURPLE IN COLOR. BACKFILL SHALL NOT BE PLACED FOR 30 MINUTES FOLLOWING PAINT APPLICATION.
7. ALL NON-METALLIC RECLAIMED WATER MAINS SHALL BE INSTALLED WITH A CONTINUOUS, INSULATED 10 GAUGE COPPER WIRE INSTALLED DIRECTLY ON TOP OF THE PIPE FOR LOCATION PURPOSES. SEE STANDARD DRAWINGS. IN ADDITION, ALL PVC RECLAIMED WATER MAINS SHALL BE SOLID, PANTONE PURPLE COLOR.
8. HYDROSTATIC TESTING OF THE RECLAIMED WATER DISTRIBUTION SYSTEM SHALL BE DONE IN ACCORDANCE WITH THE AWWA STANDARDS. HYDROSTATIC TESTING TO BE DONE IN ACCORDANCE WITH AWWA C-600 FOR DUCTILE IRON PIPE AND M23 FOR PVC PIPE.
9. ALL RECLAIMED WATER HOSE BIBBS, HAND-OPERATED CONNECTIONS AND OUTLETS SHALL BE CONTAINED IN UNDERGROUND SERVICE VAULTS AND SHALL BE APPROPRIATELY TAGGED OR LABELED TO WARN THE PUBLIC AND EMPLOYEES THAT THE WATER IS NOT INTENDED FOR DRINKING. ALL PIPING, PIPELINES, VALVES AND OUTLETS SHALL BE COLOR CODED PANTONE 522C PURPLE AND MARKED PER LOCAL AND STATE CODES TO DIFFERENTIATE RECLAIMED WATER FROM POTABLE OR OTHER.
10. VAULTS FOR RECLAIMED WATER HOSE BIBBS AND OUTLETS SHALL BE LOCKED OR REQUIRE A SPECIAL TOOL FOR OPERATION OF HOSE BIBBS AND OUTLETS.
11. LOW TRAJECTORY NOZZLES ARE REQUIRED WITHIN 100 FEET OF ANY OUTDOOR PUBLIC EATING, DRINKING OR BATHING FACILITIES.
12. A RESIDENTIAL DUAL CHECK VALVE OR OTHER BACKFLOW PREVENTION DEVICE AS SPECIFIED BY THE SEWER/RECLAIMED WATER UTILITY COMPANY IS REQUIRED ON ALL POTABLE WATER LINES AT EACH RESIDENTIAL SITE WHICH IS SERVICED WITH RECLAIMED WATER.
13. SIGNS SHALL BE POSTED IN THE VICINITY OF PUBLIC RECLAIMED WATER RECLAIMED WATER IRRIGATION SYSTEMS, ADVISING THE PUBLIC THAT RECLAIMED WATER IS PRACTICED.
14. BOX COVERS FOR RECLAIMED WATER SYSTEM ELEMENTS (VALVES, METER, BFP's, ETC.) SHALL, TO THE EXTENT REASONABLE, NOT BE INTERCHANGEABLE WITH BOX COVERS FOR WATER SYSTEM ELEMENTS.
15. RECLAIMED WATER SYSTEMS AND POTABLE WATER SYSTEMS SHALL NOT BE CROSS-CONNECTED. AN AIR GAP OF TWO PIPE DIAMETERS IS REQUIRED BETWEEN SUCH WATERS.
16. THE WETTED EDGE OF AREAS IRRIGATION WITH RECLAIMED WATER SHALL NOT BE CLOSER THAN 75 FEET TO ANY PUBLIC OR PRIVATE POTABLE WATER WELL.
17. NO RECLAIMED WATER TRANSMISSION FACILITY/MAIN SHALL BE WITHIN 75 FEET OF ANY PUBLIC WATER SUPPLY WELL.

DEMOLITION NOTES:

1. CONTRACTOR SHALL REMOVE ALL WASTE MATERIAL FOR DISPOSAL OFF-SITE. DISPOSAL SHALL CONFORM TO ALL APPLICABLE REGULATIONS.
2. ANY MATERIALS CLAIMED AS SALVAGE BY OWNER EITHER IN THE FIELD OR IN THE DRAWINGS SHALL BE STOCKPILED FOR OWNER'S REMOVAL.
3. CONTRACTOR SHALL BE KNOWLEDGEABLE OF THE CONSTRUCTION DOCUMENTS AND BE RESPONSIBLE FOR PROTECTING ANY EXISTING FACILITY SO DESIGNATED OR DESIGNATED TO BE USED IN THE WORK.
4. CONTRACTOR SHALL REMOVE ALL FOUNDATIONS, CONCRETE SLABS, AND UNDERGROUND STRUCTURES EXISTING ON THE SITE AT THE TIME OF BIDDING UNLESS OTHERWISE DIRECTED.
5. CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES AND BE RESPONSIBLE FOR THE TERMINATION, CAPPING-OFF AND REMOVAL OF ALL UNDERGROUND AND ABOVE-GROUND UTILITY SERVICES EXISTING AT THE TIME OF BIDDING UNLESS DIRECTED TO BID OTHERWISE.
6. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND DISPOSING ALL WASTE MATERIALS CONSISTENT WITH ALL RULES AND REGULATIONS APPLICABLE TO THE SPECIFIC MATERIAL FOUND.

SPECIAL PURPOSE NOTES:

1. THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT AND SHALL BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH.
2. THE WELLS SHOWN HEREON ARE THE WELLS LOCATED TO DATE AND DO NOT NECESSARILY REPRESENT ALL WELLS ON THE PROPERTY. THE ENGINEER SHALL BE NOTIFIED OF ANY WELLS ENCOUNTERED DURING CONSTRUCTION. ALL WELLS NOT DESIGNATED TO REMAIN OR FUNCTION SHALL BE PROPERLY SEALED AND ABANDONDED PER APPLICABLE AGENCY REQUIREMENTS.
3. VIBRATORY COMPACTION METHODS SHALL NOT BE Used WITHIN EXISTING GAS EASEMENTS.

ADA NOTES:

1. THE CONTRACTOR SHALL INSTALL, AS PART OF THE INFRASTRUCTURE AND PRIOR TO CERTIFICATE OF COMPLETION, DROP CURBS, STRIPING AND HANDICAP RAMPS AT ALL INTERSECTIONS OF SIDEWALK WITH THE PROPOSED PAVEMENT TO MEET STATE OF FLORIDA ACCESSIBILITY CODE AND FEDERAL A.D.A. SPECIFICATIONS.
2. PROPOSED AND EXISTING SIDEWALKS SHALL BE RAMPED FLUSH WITH PAVEMENT. RAMPS SHALL NOT EXCEED SLOPES OF 12 HORIZONTAL TO 1 VERTICAL. (NOTE: RAMP LENGTHS REQUIRED MAY EXCEED 6 FT.)
3. WHERE SIDEWALK RAMPS CONNECT TO MIAMI CURB, THE SLOPE OF THE MIAMI CURB SHALL BE NO STEEPER THAN 12:1 TO CONFORM WITH FLORIDA/FEDERAL REGULATORY REQUIREMENTS. TWO FT. LONG CURB TRANSITIONS SHALL BE USED AT EACH SIDE OF THE RAMP.
4. WHERE RAMPS ARE POURED ADJACENT TO EXISTING MIAMI CURB, THE CURB SHALL BE REMOVED, FOR A DISTANCE EXTENDING TWO FT. BEYOND EACH END OF THE WALK AND RECONSTRUCTED.
5. SIDEWALK RAMPS SHALL INCLUDE DETECTABLE WARNINGS THAT ARE TEXTURED IN CONFORMANCE WITH FDOT STANDARDS EXCEPT WHERE LOCAL CODES DICTATE OTHERWISE. CONTRACTOR SHALL COORDINATE WITH LOCAL AUTHORITY FOR PRE-POUR INSPECTION PRIOR TO ANY SIDEWALK AND/OR RAMP CONCRETE POURS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT ALL RAMP TEXTURED SURFACES AND SIDEWALK LONGITUDINAL AND CROSS SLOPES ARE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL ADA AND FAIR HOUSING ACT STANDARDS.
6. CONTRACTOR SHALL COORDINATE WITH ENGINEER FOR PRE-POUR INSPECTION PRIOR TO ANY SIDEWALK AND/OR CURB RAMP CONCRETE POURS.

FIRE PROTECTION NOTES:

1. FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES.
2. IN INSTANCES WHERE THERE ARE NO FIRE HYDRANTS IN CLOSE PROXIMITY TO PROVIDE FIRE PROTECTION, PER THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA-1, 16.4.3.1.3, UNDERGROUND WATER MAINS AND HYDRANTS ARE REQUIRED TO BE PROVIDED SHALL BE INSTALLED, COMPLETED AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
3. PER NFPA-1, 18.3.4.1, DURING CONSTRUCTION, CLEARANCES OF 7.5 FEET IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT WITH A 4-FOOT CLEARANCE TO THE REAR MUST BE PROVIDED AND MAINTAINED AT ALL TIMES.

HORIZONTAL GEOMETRY NOTES:

1. CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE ROAD CENTERLINE GEOMETRY AND BUILDING COORDINATES PROVIDED IN THESE PLANS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL PRIOR TO THE INSTALLATION OF ANY IMPROVEMENT.
2. LOCATIONS OF SANITARY AND DRAINAGE STRUCTURES ARE GIVEN AT THE CENTER OF THE BOTTOM OF THE STRUCTURE.
3. ALL STORM PIPE LENGTHS ARE TO BE MEASURED TO CENTER OF DRAINAGE STRUCTURE OR TO THE END OF MITERED END SECTIONS.

SIGNING AND MARKING NOTES:

1. ALL SIGNAGE, PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS", LATEST EDITION.
2. ALL MARKINGS AND STRIPING ARE TO BE (THERMOPLASTIC/PAINT) AND SHALL BE APPLIED WITH MECHANICAL EQUIPMENT AND TEMPLATES AT THE LOCATIONS AND LENGTHS SHOWN ON THE PLANS (TWO COATS ALL LOCATION. COLOR SHALL BE WHITE, UNLESS OTHERWISE SPECIFIED, AND SHALL MEET ALL APPLICABLE REQUIREMENTS OF FDOT AND ORANGE COUNTY.
3. ALL HANDICAPPED PARKING SPACES SHALL BE DESIGNATED BY APPROPRIATE PAVEMENT MARKINGS AND SIGN.
4. BLUE REFLECTIVE PAVEMENT MARKERS SHALL BE PLACED OPPOSITE FIRE HYDRANTS IN THE CENTER OF THE NEAREST TRAVEL LANE TO MARK THEIR LOCATIONS.
5. REGULATORY SIGNS (STOP, ETC.) SHALL BE IN PLACE PRIOR TO FINAL INSPECTION OF PAVING IMPROVEMENTS.

OCU GENERAL NOTES:

1. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN PROXIMITY OF WATER MAINS, WASTEWATER FORCE MAINS, GRAVITY MAINS AND RECLAIMED WATER MAINS. MAIN LOCATIONS SHOWN ON PLANS MAY NOT BE EXACT. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING UTILITY LOCATIONS.
2. SHOULD A PIPE EMERGENCY OCCUR, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OCU DISPATCH OPERATOR (407-836-2777) AND THE OCU INSPECTOR.
3. THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION DIVISION AT LEAST SEVEN DAYS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION PROJECT BY CALLING (407) 254-9798.
4. THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION DIVISION AT LEAST 48 HOURS PRIOR TO ANY UTILITIES CONSTRUCTION BY CALLING (407) 254-9798.
5. THE MATERIALS, PRODUCTS, AND CONSTRUCTION OF ALL UTILITIES CONNECTING TO THE OCU SYSTEM SHALL BE IN CONFORMANCE WITH THE ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL.
6. ALL OCU MAINS AND FACILITIES WITHIN THE LIMITS OF THE PROJECT SHALL BE SUPPORTED AND PROTECTED AGAINST DAMAGE DURING CONSTRUCTION.
7. THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, SHALL IMMEDIATELY REPAIR ALL DAMAGES TO OCU MAINS AND FACILITIES. IF THE REPAIR IS NOT MADE IN A TIMELY MANNER, AS DETERMINED BY OCU, OCU MAY PERFORM REQUIRED REPAIRS AND CLEANUP. THE CONTRACTOR WILL BE CHARGED FOR ALL EXPENSES ASSOCIATED WITH THE REPAIR.
8. THE CONTRACTOR SHALL ADJUST ALL EXISTING OCU MAINS AND FACILITIES IN CONFLICT WITH NEW GRADE, NEW OR ALTERED ROADWAYS, SIDEWALKS, DRIVEWAYS, OR STORM WATER IMPROVEMENTS. OCU FACILITIES TO BE ADJUSTED INCLUDE, BUT ARE NOT LIMITED TO PIPELINES, PUMP STATIONS, VALVE BOXES, AIR RELEASE VALVES, FIRE HYDRANTS, MANHOLE COVERS, AND METERS.
9. ONLY OCU SHALL OPERATE OCU WATER, WASTEWATER, AND RECLAIMED WATER VALVES. THE CONTRACTOR SHALL COORDINATE VALVE OPERATION WITH THE OCU INSPECTOR. FOR OPERATION OF MAINS NOT OWNED BY OCU, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE APPROPRIATE UTILITY REPRESENTATIVE.
10. CONSTRUCTION ACTIVITIES SHALL NOT CAUSE INTERRUPTIONS IN WATER, WASTEWATER, OR RECLAIMED WATER SERVICE. THE CONTRACTOR SHALL COORDINATE PRE-APPROVED INTERRUPTIONS OF SERVICE WITH THE OCU INSPECTOR 7 WORKING DAYS IN ADVANCE.
11. THE CONTRACTOR SHALL PROVIDE FOR BYPASSING AND/OR HAULING WASTEWATER DURING APPROVED INTERRUPTIONS OF WASTEWATER FLOWS AND CONNECTIONS. THE CONTRACTOR SHALL SUBMIT A BYPASS PLAN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER TO OCU DEVELOPMENT ENGINEERING FOR APPROVAL PRIOR TO IMPLEMENTATION BY CONTRACTOR.
12. ALL VALVES INSTALLED AS PART OF THIS CONSTRUCTION PROJECT SHALL REMAIN CLOSED DURING CONSTRUCTION. KEEP VALVES ON ALL WET TAPS CLOSED UNTIL CLEARED BY FDEP. DO NOT CONNECT NEWLY CONSTRUCTED WATER MAINS TO ANY EXISTING WATER MAINS UNLESS CLEARED BY FDEP AND OCU.
13. THE CONTRACTOR SHALL PROVIDE A JUMPER ASSEMBLY WITH A BACKFLOW PREVENTER FOR MAKING TEMPORARY CONNECTIONS TO AN EXISTING POTABLE WATER SOURCE IN ORDER TO CHLORINATE AND FLUSH NEW WATER MAINS WITH POTABLE WATER. ANY TEMPORARY POTABLE WATER CONNECTIONS TO RECLAIMED WATER OR FORCEMAIN SHALL ALSO BE EQUIPPED WITH A BACKFLOW PREVENTER.
14. FOR PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY OCU, NO PIPE BENDING IS ALLOWED. THE MAXIMUM ALLOWABLE TOLERANCE FOR JOINT DEFLECTION IS 0.75 DEGREES (3-INCHES PER JOINT PER 20 FT STICK OF PIPE.) ALIGNMENT CHANGE SHALL BE MADE ONLY WITH SLEEVES AND FITTINGS.
15. FOR NON-PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY OCU, LONG RADIUS CURVES, EITHER HORIZONTAL OR VERTICAL, MAY BE INSTALLED WITH STANDARD PIPE BY DEFLECTIONS AT THE JOINTS. MAXIMUM DEFLECTIONS AT PIPE JOINTS, FITTINGS AND LAYING RADIUS FOR THE VARIOUS PIPE LENGTHS SHALL NOT EXCEED 75 PERCENT OF THE PIPE MANUFACTURER'S RECOMMENDATION.

4

Key Map:

Consultant:

NO.	DATE:	DESCRIPTIONS:
9	11/12/20	RESUBMIT TO ORANGE COUNTY
8	10/13/20	RESUBMIT TO ORANGE COUNTY
7	6/09/20	RESUBMIT (REVISED LAYOUT)
6	9/26/19	REVISE FORCEMAIN CONNECTION
5	8/30/19	RESUBMIT TO ORANGE COUNTY
4	8/8/19	RESUBMIT TO ORANGE COUNTY
	5/29/19	BID SET
3	5/28/19	RESUBMIT TO ORANGE COUNTY
2	4/17/19	RESUBMIT TO VWCD
1	2/21/19	RESUBMIT TO VWCD
	12/20/18	SUBMIT TO ORANGE COUNTY

SUBMISSIONS/REVISIONS

VERTICAL DATUM:	NAVD 88
JOB NO.:	18-007
DESIGNED BY:	CB
DRAWN BY:	CB/CSL/JSK/TF
CHECKED BY:	CB/CMB
APPROVED BY:	CMB
SCALE IN FEET:	N.T.S.

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

CONSTRUCTION NOTES

Sheet No.:

C0.01B

Seal:

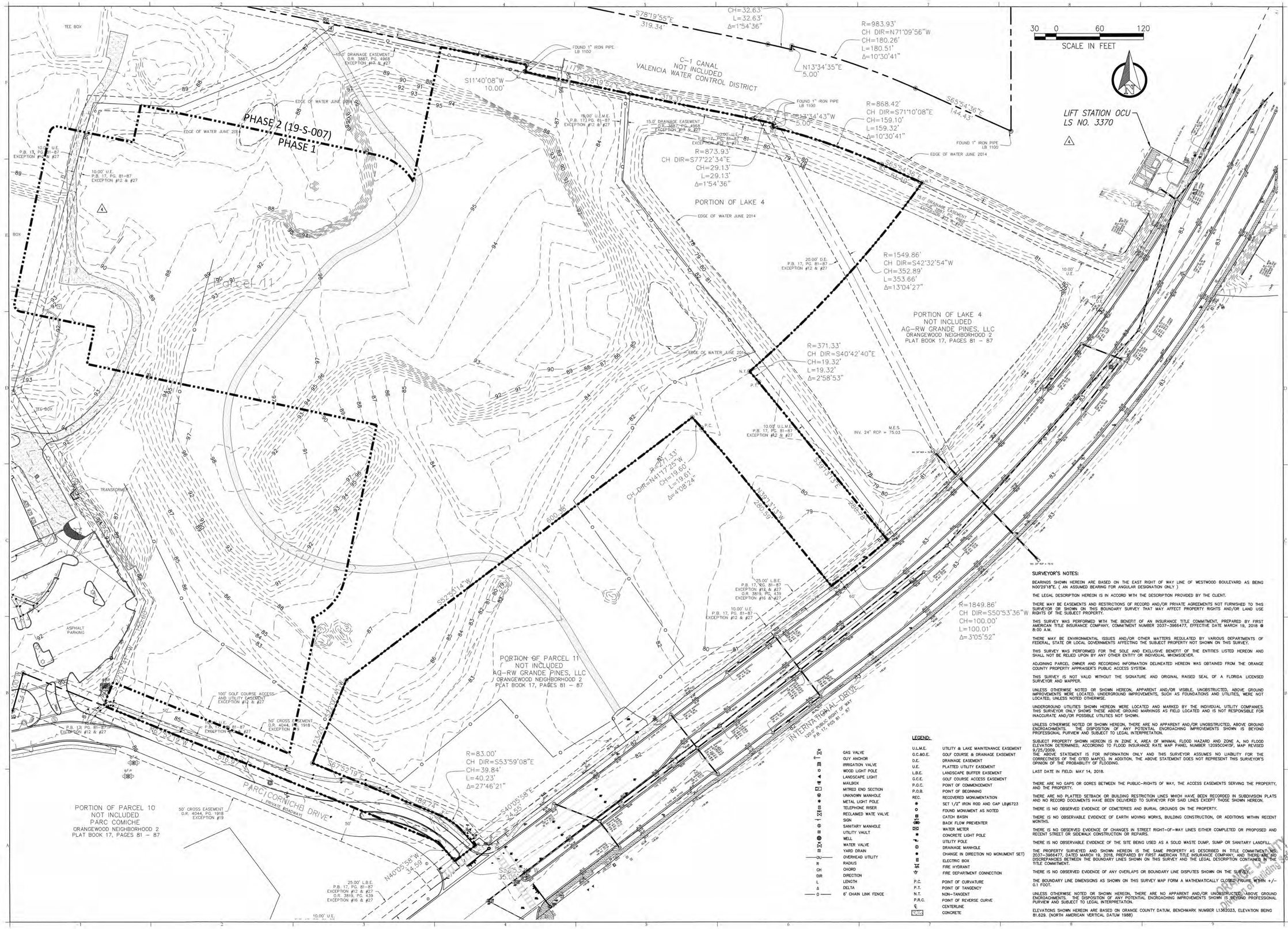
CHRISTINA M. BAXTER
LICENSE
No. 67547
STATE OF FLORIDA
PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
P.E. NO. 067547
DATE: November 12, 2020

POULOS & BENNETT

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.487.2594 www.poulosandbennett.com
Eng. Bus. No. 28567

Z:\2018\18-007 PARK SQUARE - GRANDE PINES SFR\PHASE 1 - AMENITY\CAD\FINAL\COUNTY\18007-PH1-GN



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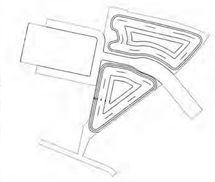

Consultant:

ALLEN & COMPANY
Professional Surveyors & Mappers

NO.	DATE:	DESCRIPTIONS:
9	11/12/	COUNTY
8	10/17/20	COUNTY
7	08/07/	REVISE FORCEMAIN AND LIFTOUT
6	9/26/19	REVISE FORCEMAIN CONNECTION
5	8/30/19	RESUBMIT TO ORANGE COUNTY
4	08/05/19	RESUBMIT TO ORANGE COUNTY
	5/29/19	BID SET
3	5/28/19	RESUBMIT TO ORANGE COUNTY
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Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

EXISTING CONDITIONS & TOPOGRAPHY

Sheet No.:

C0.02

DATE: November 12, 2020

SURVEYOR'S NOTES:

BEARINGS SHOWN HEREON ARE BASED ON THE EAST RIGHT OF WAY LINE OF WESTWOOD BOULEVARD AS BEING N00°29'18"E. (AN ASSUMED BEARING FOR ANGULAR DESIGNATION ONLY)

THE LEGAL DESCRIPTION HEREON IS IN ACCORD WITH THE DESCRIPTION PROVIDED BY THE CLIENT.

THERE MAY BE EASEMENTS AND RESTRICTIONS OF RECORD AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THIS SURVEYOR OR SHOWN ON THIS BOUNDARY SURVEY THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE SUBJECT PROPERTY.

THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF AN INSURANCE TITLE COMMITMENT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER 2037-3966477, EFFECTIVE DATE MARCH 19, 2018 @ 8:00 A.M.

THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OF FEDERAL, STATE OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY NOT SHOWN ON THIS SURVEY.

THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE ENTITIES LISTED HEREON AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER.

ADJOINING PARCEL OWNER AND RECORDING INFORMATION DELINEATED HEREON WAS OBTAINED FROM THE ORANGE COUNTY PROPERTY APPRAISER'S PUBLIC ACCESS SYSTEM.

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

UNLESS OTHERWISE NOTED OR SHOWN HEREON, APPARENT AND/OR VISIBLE, UNOBSTRUCTED, ABOVE GROUND IMPROVEMENTS WERE LOCATED. UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATIONS AND UTILITIES, WERE NOT LOCATED, UNLESS NOTED OTHERWISE.

UNDERGROUND UTILITIES SHOWN HEREON WERE LOCATED AND MARKED BY THE INDIVIDUAL UTILITY COMPANIES. THIS SURVEYOR ONLY SHOWS THESE ABOVE GROUND MARKINGS AS FIELD LOCATED AND IS NOT RESPONSIBLE FOR INACCURATE AND/OR POSSIBLE UTILITIES NOT SHOWN.

UNLESS OTHERWISE NOTED OR SHOWN HEREON, THERE ARE NO APPARENT AND/OR UNOBSTRUCTED, ABOVE GROUND ENCROACHMENTS. THE DISPOSITION OF ANY POTENTIAL ENCROACHING IMPROVEMENTS SHOWN IS BEYOND PROFESSIONAL PURVIEW AND SUBJECT TO LEGAL INTERPRETATION.

SUBJECT PROPERTY SHOWN HEREON IS IN ZONE X, AREA OF MINIMAL FLOOD HAZARD AND ZONE A, NO FLOOD ELEVATION DETERMINED, ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 12095C0415F, MAP REVISED 9/25/2009.
THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.

LAST DATE IN FIELD: MAY 14, 2018.

THERE ARE NO GAPS OR GORES BETWEEN THE PUBLIC-RIGHTS OF WAY, THE ACCESS EASEMENTS SERVING THE PROPERTY, AND THE PROPERTY.

THERE ARE NO PLATTED SETBACK OR BUILDING RESTRICTION LINES WHICH HAVE BEEN RECORDED IN SUBDIVISION PLATS AND NO RECORD DOCUMENTS HAVE BEEN DELIVERED TO SURVEYOR FOR SAID LINES EXCEPT THOSE SHOWN HEREON.

THERE IS NO OBSERVED EVIDENCE OF CEMETERIES AND BURIAL GROUNDS ON THE PROPERTY.

THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORKS, BUILDING CONSTRUCTION, OR ADDITIONS WITHIN RECENT MONTHS.

THERE IS NO OBSERVED EVIDENCE OF CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED AND RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

THERE IS NO OBSERVABLE EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

THE PROPERTY SURVEYED AND SHOWN HEREON IS THE SAME PROPERTY AS DESCRIBED IN TITLE COMMITMENT NO. 2037-3966477, DATED MARCH 19, 2018, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, AND THERE ARE NO DISCREPANCIES BETWEEN THE BOUNDARY LINES SHOWN ON THIS SURVEY AND THE LEGAL DESCRIPTION CONTAINED IN THE TITLE COMMITMENT.

THERE IS NO OBSERVED EVIDENCE OF ANY OVERLAPS OR BOUNDARY LINE DISPUTES SHOWN ON THE SURVEY.

THE BOUNDARY LINE DIMENSIONS AS SHOWN ON THIS SURVEY MAP FORM A MATHEMATICALLY CLOSED FIGURE WITHIN +/- 0.1 FOOT.

UNLESS OTHERWISE NOTED OR SHOWN HEREON, THERE ARE NO APPARENT AND/OR UNOBSTRUCTED, ABOVE GROUND ENCROACHMENTS. THE DISPOSITION OF ANY POTENTIAL ENCROACHING IMPROVEMENTS SHOWN IS BEYOND PROFESSIONAL PURVIEW AND SUBJECT TO LEGAL INTERPRETATION.

ELEVATIONS SHOWN HEREON ARE BASED ON ORANGE COUNTY DATUM, BENCHMARK NUMBER L1382023, ELEVATION BEING 81.629. (NORTH AMERICAN VERTICAL DATUM 1988)

LEGEND:

GV	GAS VALVE	U.L.M.E.	UTILITY & LAKE MAINTENANCE EASEMENT
	GUY ANCHOR	G.C.&D.E.	GOLF COURSE & DRAINAGE EASEMENT
	IRRIGATION VALVE	D.E.	DRAINAGE EASEMENT
	WOOD LIGHT POLE	U.E.	PLATTED UTILITY EASEMENT
	LANDSCAPE LIGHT	L.B.E.	LANDSCAPE BUFFER EASEMENT
	MAILBOX	G.C.E.	GOLF COURSE ACCESS EASEMENT
	MITRED END SECTION	P.O.C.	POINT OF COMMENCEMENT
	UNKNOWN MANHOLE	P.O.B.	POINT OF BEGINNING
	METAL LIGHT POLE	REC.	RECOVERED MONUMENTATION
	TELEPHONE RISER		SET 1/2" IRON ROD AND CAP LB#6723
	RECLAIMED WATE VALVE		FOUND MONUMENT AS NOTED
	SIGN		CATCH BASIN
	SANITARY MANHOLE		BACK FLOW PREVENTER
	UTILITY VAULT		WATER METER
	WELL		CONCRETE LIGHT POLE
	WATER VALVE		UTILITY POLE
	YARD DRAIN		DRAINAGE MANHOLE
—OU—	OVERHEAD UTILITY		CHANGE IN DIRECTION NO MONUMENT SET)
R	RADIUS		ELECTRIC BOX
CH	CHORD		FIRE HYDRANT
DIR	DIRECTION		FIRE DEPARTMENT CONNECTION
L	LENGTH	P.C.	POINT OF CURVATURE
Δ	DELTA	P.T.	POINT OF TANGENCY
—O—	6' CHAIN LINK FENCE	N.T.	NON-TANGENT
		P.R.C.	POINT OF REVERSE CURVE
		℄	CENTERLINE
		CONC	CONCRETE

POULOS & BENNETT

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.487.2594 www.poulosandbennett.com
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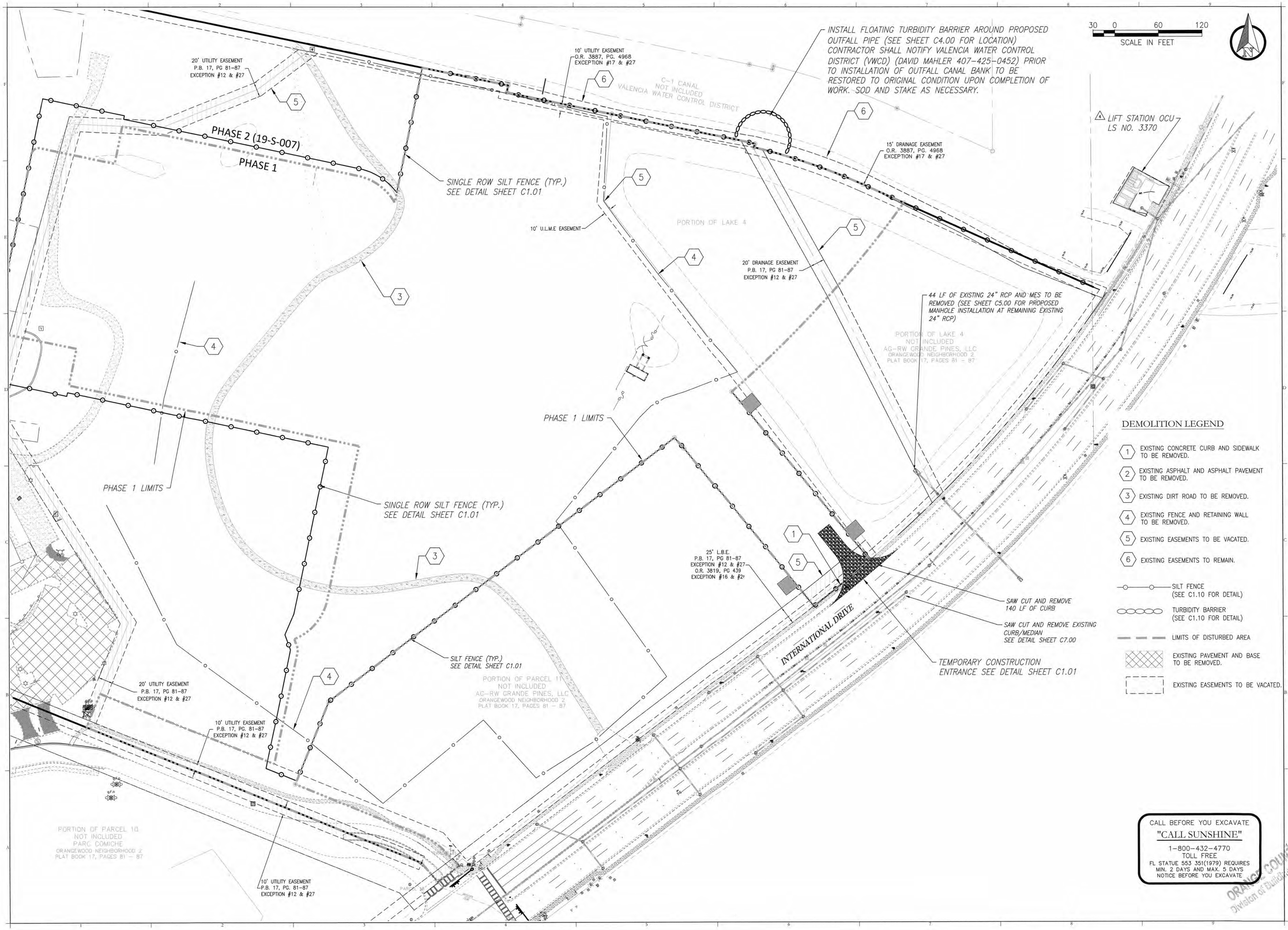

DEMOLITION LEGEND

1. EXISTING CONCRETE CURB AND SIDEWALK TO BE REMOVED.
2. EXISTING ASPHALT AND ASPHALT PAVEMENT TO BE REMOVED.
3. EXISTING DIRT ROAD TO BE REMOVED.
4. EXISTING FENCE AND RETAINING WALL TO BE REMOVED.
5. EXISTING EASEMENTS TO BE VACATED.
6. EXISTING EASEMENTS TO REMAIN.

SILT FENCE (SEE C1.10 FOR DETAIL)

TURBIDITY BARRIER (SEE C1.10 FOR DETAIL)

LIMITS OF DISTURBED AREA

EXISTING PAVEMENT AND BASE TO BE REMOVED.

EXISTING EASEMENTS TO BE VACATED.

CALL BEFORE YOU EXCAVATE
"CALL SUNSHINE"
1-800-432-4770
TOLL FREE
FL STATUE 553 351(1979) REQUIRES MIN. 2 DAYS AND MAX. 5 DAYS NOTICE BEFORE YOU EXCAVATE

ORANGE COUNTY
Division of Building

Key Map:

Consultant:

NO.	DATE:	DESCRIPTIONS:
9	11/12/20	RESUBMIT TO ORANGE COUNTY
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Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

DEMOLITION AND EROSION CONTROL PLAN

Sheet No.:

C1.00

Seal:

CHRISTINA M. BAXTER
LICENSE No. 67547
STATE OF FLORIDA
PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
P.E. NO. 067547
DATE: November 12, 2020

POULOS & BENNETT

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Z:\2018\18-007 PARK SQUARE - GRANDE PINES SFR\PHASE 1 - AMENITY\CAD\FINAL\COUNTY\18007-PH1-DEMO-ECP

EROSION CONTROL NOTES

1. DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO INSURE AGAINST POLLUTING, SILTING OR DISTURBING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING SURFACE WATERS, SUCH MEASURES SHALL BE APPROVED BY THE PROJECT ENGINEER AND MAY INCLUDE, BUT NOT LIMITED TO, CONSTRUCTION OF TEMPORARY EROSION CONTROL STRUCTURES, SUCH AS SEDIMENT BASINS, SEDIMENT CHECKS, OR SILT BARRIERS.
2. SODDING OF DETENTION PONDS AND OTHER AREAS DESIGNATED FOR SOD, SHOULD BE ACCOMPLISHED WITHIN SEVEN (7) DAYS FOLLOWING COMPLETION OF GRADING TO MINIMIZE EROSION POTENTIAL.
3. IF DURING CONSTRUCTION, THE PROPOSED EROSION CONTROL SYSTEM DOES NOT PERFORM SATISFACTORILY, ALTERNATIVES AND ADDITIONAL METHODS OF PROTECTION SHALL BE IMPLEMENTED BY THE CONTRACTOR IN ORDER TO COMPLY WITH S.F.W.M.D. AND ORANGE COUNTY EROSION PROTECTION STANDARDS. CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR ALL EROSION CONTROL COSTS INCLUDING ANY COSTS ASSOCIATED WITH COMPLIANCE ISSUES AND ENFORCEMENT ACTIONS.
4. THE CONTRACTOR WILL BE REQUIRED TO SUBMIT A DETAILED EROSION CONTROL PLAN TO ORANGE COUNTY FOR REVIEW AND APPROVAL A MINIMUM OF 2 WORKING DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING AT A MINIMUM. THE EROSION CONTROL PLAN SHALL PROPOSE SILT SCREEN OR STAKED SYNTHETIC BALES AND TURBIDITY BARRIERS, IN ACCORDANCE WITH THE CONSTRUCTION PLANS.
5. 2' STRIP OF SOD SHALL BE PLACED BEHIND BACK OF CURB.
6. AT A MINIMUM SILT BARRIERS SHALL BE PLACED AS SHOWN ON THE CONSTRUCTION PLANS TO INSURE AGAINST POLLUTING, SILTING OR DISTURBING TO SUCH AN EXTENT TO CAUSE AN INCREASE IN TURBIDITY, OR DISCHARGE OF MATERIAL OFFSITE OR TO EXISTING WETLANDS. IF DURING CONSTRUCTION THE PROPOSED EROSION CONTROL SYSTEM DOES NOT PERFORM SATISFACTORY ALTERNATIVES AND ADDITIONAL MEASURES SHALL BE IMPLEMENTED BY THE CONTRACTOR IN ORDER TO COMPLY WITH ORANGE COUNTY AND S.F.W.M.D. EROSION PROTECTION STANDARDS.
7. CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR ALL EROSION PROTECTION COSTS, INCLUDING ANY COST ASSOCIATED WITH COMPLIANCE ISSUES AND ENFORCEMENT ACTIONS.
8. CONTRACTOR IS RESPONSIBLE FOR PREPARING AND ADHERING TO A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH THE FLORIDA STORMWATER, EROSION, AND SEDIMENTATION CONTROL INSPECTORS MANUAL PUBLISHED BY FDEP.
9. CONTRACTOR SHALL STAKE IN ALL SOD FOR ALL SLOPES OR UNTIL SUCH TIME THAT GROUND IS STABILIZED IN ORDER TO PREVENT EROSION.
10. WORK SHALL BE DONE IN ACCORDANCE WITH EPA, FDEP, SFWMD, AND ORANGE COUNTY BEST MANAGEMENT PRACTICES AND EROSION CONTROL SPECIFICATIONS.
11. CONTRACTOR SHALL SEED AND MULCH OR SOD ALL DISTURBED AREAS.

SWPPP NOTES

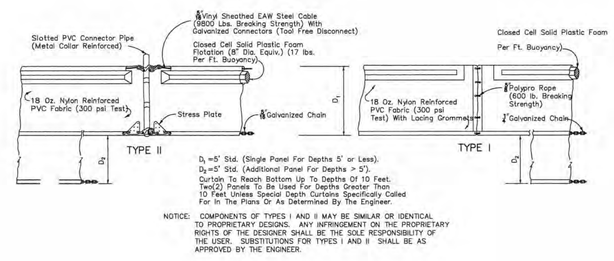
1. CONSTRUCTION ACTIVITY PERTAINS TO INSTALLATION OF DRAINAGE INLETS AND CONVEYANCE TO A WET DETENTION POND.
2. ALL PROPOSED INLETS/OUTFALLS, ONCE INSTALLED, SHALL BE PROTECTED FROM EROSION AND SEDIMENT RUNOFF USING FILTER FABRIC AND PROPERLY INSTALLED FILTER FABRICS. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED SHALL BE STABILIZED WITH SOD. SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF THE SITE w/ A DOUBLE ROW SILT FENCE REINFORCED w/ FIELD FENCING SHALL BE PLACED AROUND VEGETATIVE BUFFERS AND WETLAND AREAS. ALL AREAS DISTURBED MORE THAN 7 DAYS SHALL BE STABILIZED w/ RYE GRASS OR OTHER APPROPRIATE TEMPORARY VEGETATION APPLIED AT MANUFACTURER'S RECOMMENDATION.
3. THE TEMPORARY AND PERMANENT STABILIZATION PRACTICES INCLUDE SODDING AND/OR SEED AND MULCH ALL DISTURBED AREAS FOR STABILIZATION.
4. SILT FENCE, INETS/OUTLETS PROTECTION SHALL BE INSTALLED PER BEST MANAGEMENT PRACTICES, SEE SECTION 8.
5. SEDIMENT BASINS IS APPLICABLE DUE TO PROJECT AREA IS OVER 10 AC. A 3,600 CU. FT. OF STORAGE PER ACRE SHALL BE PROVIDED UNTIL FINAL STABILIZATION.
6. CONTROL DETAILS OF POTENTIAL POLLUTANTS AS FOLLOWS:
   - 6.1. WASTE DISPOSAL – ALL CONSTRUCTION MATERIALS AND DEBRIS WILL BE PLACED IN DUMPSTER AND HAULED OFF SITE TO A LANDFILL OR OTHER DISPOSAL SITE. NO MATERIALS SHALL BE BURIED ON SITE.
   - 6.2. OFFSITE VEHICLE TRACKING TO/FROM CONSTRUCTION – SEDIMENT AND DUST GENERATION WILL BE MINIMIZED VIA A ROCK CONSTRUCTION ENTRANCE (SEE DETAIL THIS SHEET), DAILY STREET SWEEPING AND THE USE OF WATER TO KEEP DUST DOWN AS NECESSARY.
   - 6.3. PROPER APPLICATION RATES OF ALL FERTILIZERS, HERBICIDES AND PESTICIDES AT CONSTRUCTION SITE – FLORIDA FRIENDLY FERTILIZERS AND PESTICIDES WILL BE USED AT A MINIMUM AND IN ACCORDANCE w/ MANUFACTURER'S SUGGESTED APPLICATION RATES. THE FERTILIZERS AND PESTICIDES WILL BE STORED IN A COVERED SHED.
   - 6.4. STORAGE, APPLICATION, GENERATION AND MIGRATION OF ALL TOXIC SUBSTANCES – ALL PAINTS AND OTHER CHEMICALS WILL BE STORED IN A LOCKED COVERED SHED.
   - 6.5. OTHER – PORT-O-LETS WILL BE PLACED AWAY FROM STORM SEWER SYSTEMS, STORM INLETS, SURFACE WATER AND WETLANDS. NO VEHICLE MAINTENANCE SHALL BE CONDUCTED ON-SITE. A WASHDOWN AREA SHALL BE DESIGNATED AT ALL TIMES AND WILL NOT BE LOCATED IN ANY AREA ALLOWING FOR DISCHARGE OF POLLUTED RUNOFF. A SMALL VEGETATED BERM SHALL BE PLACED AROUND THE WASHDOWN AREA.
7. MAINTENANCE FOR ALL STRUCTURAL AND NON-STRUCTURAL CONTROLS SHALL BE AS FOLLOWS:
   - 7.1. SILT FENCE SHALL BE INSPECTED AT LEAST WEEKLY. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENTS DEPOSITS SHALL BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
   - 7.2. MAINTENANCE SHALL BE PERFORMED ON THE ROCK ENTRANCE WHEN ANY VOID SPACES ARE FULL OF SEDIMENTS.
   - 7.3. INLETS/OULETS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAIN EVENT AND ANY REQUIRED REPAIRS TO THE FILTER FABRIC ON INLETS, SILT FENCE, OR FILTER FABRIC SHALL BE PERFORMED IMMEDIATELY.
   - 7.4. BARE AREAS OF THE SITE THAT WERE PREVIOUSLY SEEDED SHALL BE RE-SEEDED PER MANUFACTURER'S INSTRUCTIONS.
   - 7.5. MULCH AND SOD THAT HAS BEEN WASHED OUT SHALL BE REPLACED IMMEDIATELY.
   - 7.6. MAINTAIN ALL OTHER AREAS OF THE SITE w/ PROPER CONTROLS AS NECESSARY.
8. QUALIFIED PERSONNEL WILL INSPECT ALL POINTS OF DISCHARGES, ALL DISTURBED AREAS OF CONSTRUCTION NOT STABILIZED, CONSTRUCTION AREAS, INGRESS/EGRESS AND ALL BMPs AT LEAST ONCE EVERY 7 DAYS OR WITHIN 24 HOURS OF A RAINFALL EVENT THAT IS 0.5 INCHES OR GREATER. WHERE SITES HAVE BEEN FINALLY STABILIZED, SAID INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE A MONTH UNTIL NOTICE OF TERMINATION IS FILED.
9. NON-STORMWATER DISCHARGES MAY OCCUR FROM CONSTRUCTION ACTIVITIES SUCH AS WATERLINE FLUSHING, PAVEMENT WASH WATER (FROM NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED) AND UNCONTAMINATED GROUNDWATER (DEWATERING EXCAVATION). DEWATERING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEP GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUND WATER FROM ANY NON-CONTAMINATED SITE ACTIVITY. IF SAID DISCHARGES DO OCCUR, THEY WILL BE DIRECTED TO THE TEMPORARY SEDIMENT BASIN PRIOR TO DISCHARGE. TURBID WATER FROM STORMWATER POND SHALL NOT BE PUMPED DIRECTLY INTO ANY RECEIVING WATERS. TREATMENT CAN INCLUDE SILT FENCES, SETTLING PONDS, PROPER USE OF FLOCCULATING AGENTS OR OTHER APPROPRIATE MEANS.

NPDES PERMIT NOTES

CONTRACTOR SHALL PREPARE AND SUBMIT TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION THE "NOTICE OF INTENT" AND "NOTICE OF TERMINATION" FOR "STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES," PER FLORIDA ADMINISTRATIVE CODE 62-621.300(4) IN ACCORDANCE WITH FDEP REQUIREMENTS. THE CONTRACTOR SHALL PREPARE AND SUBMIT WITH THE APPLICATION, AN APPROVED "STORMWATER POLLUTION PREVENTION PLAN" AND PERFORM/CERTIFY ALL INSPECTIONS AND RETAIN ALL. INSPECTION REPORTS AND DOCUMENTATION ON FILE AS REQUIRED FOR DEP REVIEW. ALL FEES SHALL BE PAID BY THE CONTRACTOR, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PENALTIES OR FINES DEP MAY LEVY FOR FAILURE TO COMPLY WITH THE PERMITTING REQUIREMENTS.

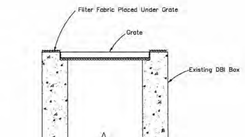
GENERAL NOTES

1. THE CONTRACTOR IS REQUIRED TO OBTAINED A DEMOLITION PERMIT FROM ORANGE COUNTY BUILDING DIVISION PRIOR TO THE REMOVAL OF THE BUILDING ON SITE.



FLOATING TURBIDITY BARRIER

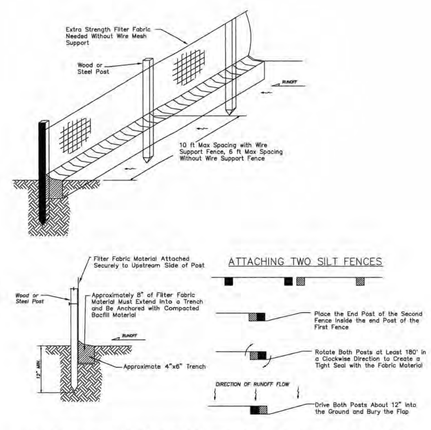
N.T.S.



Note: This filter fabric placement to be used during soil disturbing activities. The filter must be checked periodically for sediment buildup and/or damage to filter material. The contractor must remove the filter fabric and check the structures for sediment buildup after soil disturbing activities have ceased.

D.B.I. FILTER FABRIC DETAIL

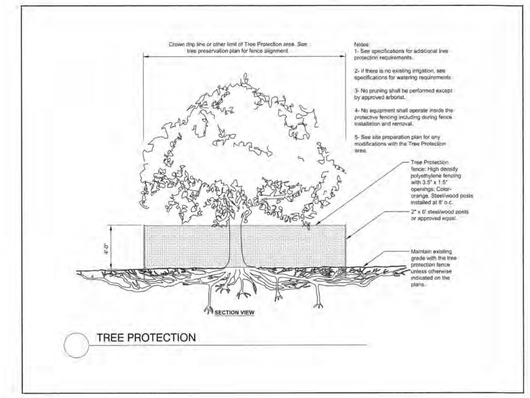
N.T.S.



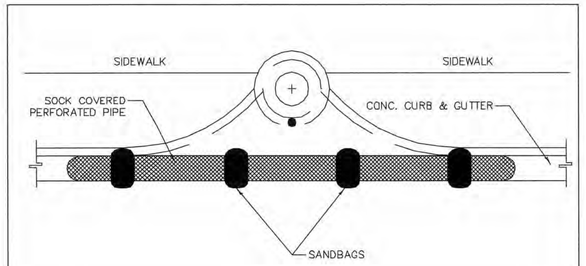
FILTER FABRIC SILT FENCE INSTALLATION

N.T.S.

Additional Controls to be Utilized as Needed, Dependent Upon Actual Site Conditions and Construction Operations



TREE PROTECTION

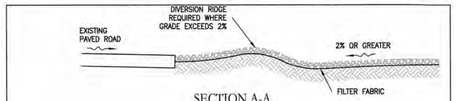


PLAN VIEW

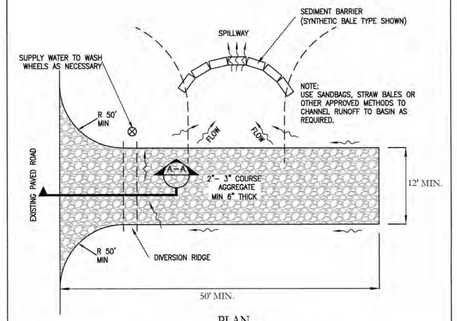
NOTES:

1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
2. SANDBAGS OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC ARE FILLED WITH GRAVEL LAYERED AND PACKED TIGHTLY.
3. LEAVE A ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
4. INSPECT BARRIERS AND REMOVED SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.
5. AT THE END OF EACH WORKDAY, SWEEP OR SCRAPE UP SOIL TRACKED ONTO THE STREET.

CURB AND GUTTER SEDIMENT BARRIER



SECTION A-A

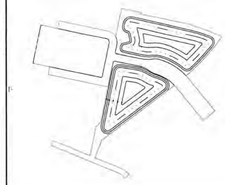


PLAN

NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABALIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

Key Map:



Consultant:

NO.	DATE:	DESCRIPTIONS:
9	11/12/20	RESUBMIT TO ORANGE COUNTY
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APPROVED BY:	CMB
SCALE IN FEET:	N.T.S.

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

DEMOLITION AND EROSION CONTROL PLAN

Sheet No.:

C1.01

Seal:

CHRISTINA M. BAXTER LICENSE No. 67547 STATE OF FLORIDA PROFESSIONAL ENGINEER

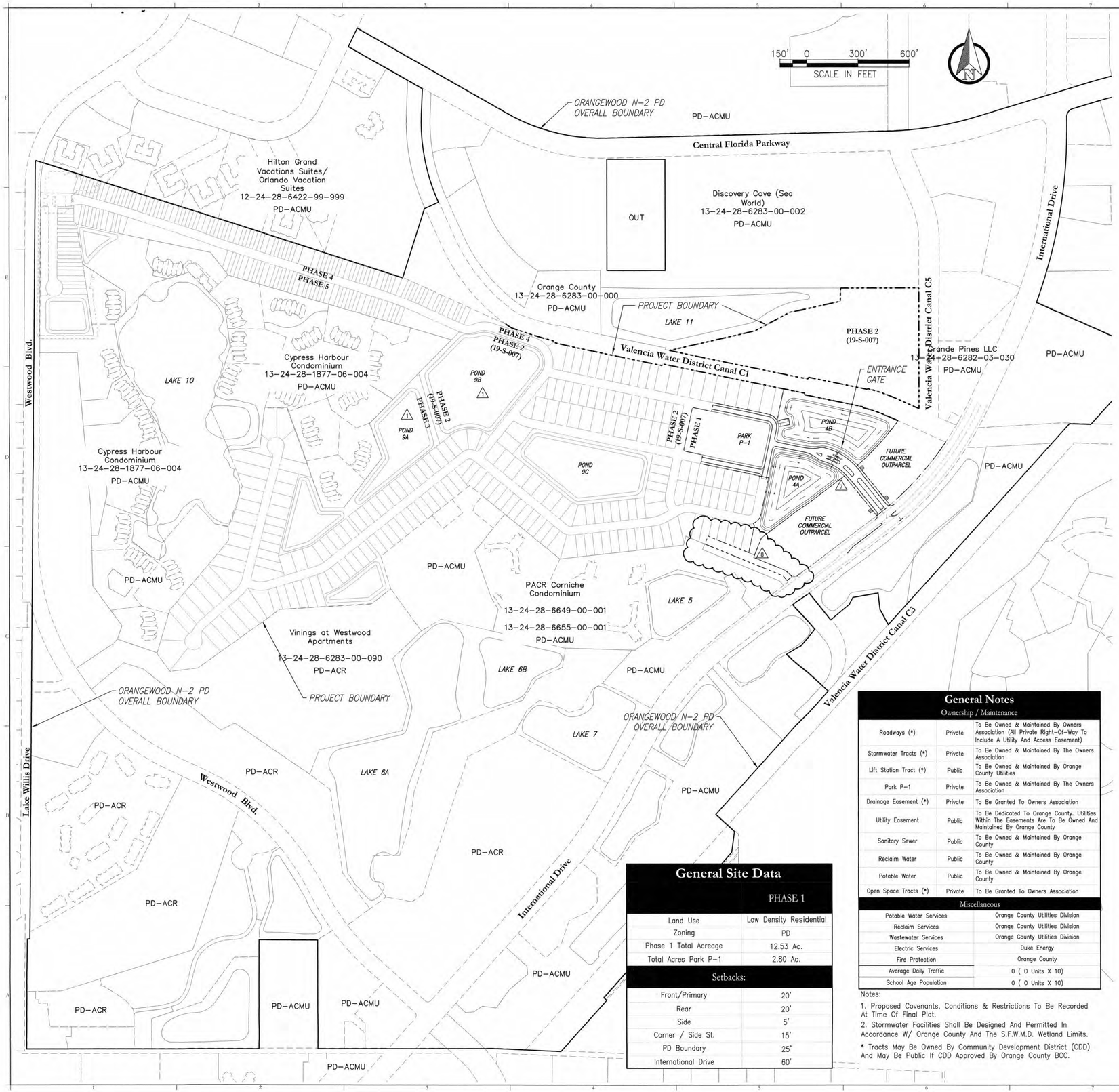
CHRISTINA M. BAXTER P.E. NO. 0067547

DATE: November 12, 2020

POULOS & BENNETT

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.487.2594 www.poulosandbennett.com
Eng. Bus. No. 28567

Z:\2018\18-007 PARK SQUARE - GRANDE PINES SFR\PHASE 1 - AMENITY\CAD\FINAL\COUNTY\18007-PH1-DEMO.DWG



General Notes

Ownership / Maintenance

Roadways (*)	Private	To Be Owned & Maintained By Owners Association (All Private Right-Of-Way To Include A Utility And Access Easement)
Stormwater Tracts (*)	Private	To Be Owned & Maintained By The Owners Association
Lift Station Tract (*)	Public	To Be Owned & Maintained By Orange County Utilities
Park P-1	Private	To Be Owned & Maintained By The Owners Association
Drainage Easement (*)	Private	To Be Granted To Owners Association
Utility Easement	Public	To Be Dedicated To Orange County. Utilities Within The Easements Are To Be Owned And Maintained By Orange County
Sanitary Sewer	Public	To Be Owned & Maintained By Orange County
Reclaim Water	Public	To Be Owned & Maintained By Orange County
Potable Water	Public	To Be Owned & Maintained By Orange County
Open Space Tracts (*)	Private	To Be Granted To Owners Association

Miscellaneous	
Potable Water Services	Orange County Utilities Division
Reclaim Services	Orange County Utilities Division
Wastewater Services	Orange County Utilities Division
Electric Services	Duke Energy
Fire Protection	Orange County
Average Daily Traffic	0 (0 Units X 10)
School Age Population	0 (0 Units X 10)

Notes:

1. Proposed Covenants, Conditions & Restrictions To Be Recorded At Time Of Final Plat.
2. Stormwater Facilities Shall Be Designed And Permitted In Accordance W/ Orange County And The S.F.W.M.D. Wetland Limits.

* Tracts May Be Owned By Community Development District (CDD) And May Be Public If CDD Approved By Orange County BCC.

General Site Data

	PHASE 1
Land Use	Low Density Residential
Zoning	PD
Phase 1 Total Acreage	12.53 Ac.
Total Acres Park P-1	2.80 Ac.
Setbacks:	
Front/Primary	20'
Rear	20'
Side	5'
Corner / Side St.	15'
PD Boundary	25'
International Drive	60'

PHASE 1 - PARK P-1

PHASE 1 SITE AREA	13.22 ACRES
TOTAL COMMERCIAL (PARK P-1)	2.80 ACRES
TOTAL:	13.22 ACRES

1. A SEPARATE DEVELOPMENT PLAN SHALL BE REQUIRED FOR THE DEVELOPMENT OF COMMERCIAL

PHASE 2 - SITE / LOT DATA

PHASE 2 SITE AREA		42.34 ACRES	
WETLAND PRESERVED IN CONSERVATION (TRACT W-1)		0.00 ACRES	
PHASE 2 NET DEVELOPABLE AREA		**42.34 ACRES**	
PHASE 2 TOTAL PROPOSED UNITS		127 UNITS	
PHASE 2 NET DENSITY		3.00 DU/AC	
DESCRIPTION	**SHORT-TERM RENTAL DETACHED**		
LOADING		**FRONT LOADED**	**FRONT LOADED**
NUMBER OF UNITS		155	61
MAX BUILDING HEIGHT		35'	35'
MIN. LOT AVERAGE SIZE		5,500 SF	7,700 SF
MIN. LOT WIDTH		50'	70'
MIN. LOT DEPTH		110'	110'
MIN. LIVING AREA		1,200 SF (1)	1,200 SF (1)
SETBACKS		**DISTANCE (feet)**	**DISTANCE (feet)**
PD PERIMETER		25' (2)	25' (2)
INTERNATIONAL DRIVE		60'	60'
WESTWOOD BLVD.		40' FROM R-O-W; 150' FROM C/L	40' FROM R-O-W; 150' FROM C/L
CENTRAL FLORIDA PKWY.		40' FROM R-O-W; 70' FROM C/L	40' FROM R-O-W; 70' FROM C/L
FRONT		20' (3)	20' (3)
REAR		20' (3)	20' (3)
SIDE		5' (3)	5' (3)
SIDE STREET		15' (3)	15' (3)

1. LIVING AREA IS DEFINED AS THE AREA THAT IS HEATED AND COOLED.
2. IDENTIFIED SETBACK SHALL APPLY WHEN INTERNAL TO THE PD.

PHASE 3 - SITE / LOT DATA

PHASE 3 SITE AREA	30.31 ACRES	
PHASE 3 NET DEVELOPABLE AREA	**30.31 ACRES**	
PHASE 3 TOTAL PROPOSED UNITS	89 UNITS	
PHASE 3 NET DENSITY	2.94 DU/AC	
DESCRIPTION	**SHORT-TERM RENTAL DETACHED (FRONT LOADED)**	**SHORT-TERM RENTAL DETACHED (FRONT LOADED)**
NUMBER OF UNITS	56	22
MAX BUILDING HEIGHT	35'	35'
MIN. LOT AVERAGE SIZE	5,500 SF	7,700 SF
MIN. LOT WIDTH	50'	70'
MIN. LOT DEPTH	110'	110'
MIN. LIVING AREA	1,200 SF (1)	1,200 SF (1)
SETBACKS	**DISTANCE (feet)**	**DISTANCE (feet)**
PD PERIMETER	25' (2)	25' (2)
FRONT	20' (3)	20' (3)
REAR	20' (3)	20' (3)
SIDE	5' (3)	5' (3)
SIDE STREET	15' (3)	15' (3)

1. LIVING AREA IS DEFINED AS THE AREA THAT IS HEATED AND COOLED.
2. IDENTIFIED SETBACK SHALL APPLY WHEN INTERNAL TO THE PD.

PHASE 4 - SITE / LOT DATA

PHASE 4 SITE AREA	6.49 ACRES	
PHASE 4 NET DEVELOPABLE AREA	**6.49 ACRES**	
PHASE 4 TOTAL PROPOSED UNITS	55 UNITS	
PHASE 4 NET DENSITY	8.47 DU/AC	
DESCRIPTION		**SHORT-TERM RENTAL ATTACHED (FRONT LOADED)**
NUMBER OF UNITS		55
MAX BUILDING HEIGHT		35'
MIN. LOT AVERAGE SIZE		1,980 SF
MIN. LOT WIDTH		22'
MIN. LOT WIDTH (END UNIT)		23'
MIN. LOT DEPTH		95'
MIN. LIVING AREA		1,200 SF (1)
SETBACKS		**DISTANCE (feet)**
PD PERIMETER		25' (2)
FRONT		20' (3)
REAR		20' (3)
SIDE		10' (3)
SIDE STREET		15' (3)

1. LIVING AREA IS DEFINED AS THE AREA THAT IS HEATED AND COOLED.
2. IDENTIFIED SETBACK SHALL APPLY WHEN INTERNAL TO THE PD.
3. PHASE 4 & 5 WILL UTILIZE 4,5,6 AND 8 UNIT BUILDINGS

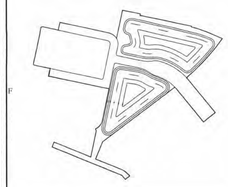
PHASE 5 - SITE / LOT DATA

PHASE 4 SITE AREA	14.41 ACRES	
PHASE 4 NET DEVELOPABLE AREA	**14.41 ACRES**	
PHASE 4 TOTAL PROPOSED UNITS	114 UNITS	
PHASE 4 NET DENSITY	7.91 DU/AC	
DESCRIPTION		**SHORT-TERM RENTAL ATTACHED (FRONT LOADED)**
NUMBER OF UNITS		114
MAX BUILDING HEIGHT		35'
MIN. LOT AVERAGE SIZE		1,980 SF
MIN. LOT WIDTH		22'
MIN. LOT WIDTH (END UNIT)		23'
MIN. LOT DEPTH		95'
MIN. LIVING AREA		1,200 SF (1)
SETBACKS		**DISTANCE (feet)**
PD PERIMETER		25' (2)
INTERNATIONAL DRIVE		60'
WESTWOOD BLVD.		40' FROM R-O-W; 150' FROM C/L
CENTRAL FLORIDA PKWY.		40' FROM R-O-W; 70' FROM C/L
FRONT		20' (3)
REAR		20' (3)
SIDE		10' (3)
SIDE STREET		15' (3)

1. LIVING AREA IS DEFINED AS THE AREA THAT IS HEATED AND COOLED.
2. IDENTIFIED SETBACK SHALL APPLY WHEN INTERNAL TO THE PD.
3. PHASE 4 & 5 WILL UTILIZE 4,5,6 AND 8 UNIT BUILDINGS

ORANGE COUNTY
Division of Building Safety

Key Map:



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DESIGNED BY:	CB
DRAWN BY:	CB/CSL/JSK/TF
CHECKED BY:	CB/CMB
APPROVED BY:	CMB
SCALE IN FEET:	1"=300'

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

MASTER SITE PLAN & SITE DATA

Sheet No.:

C2.00

Seal:

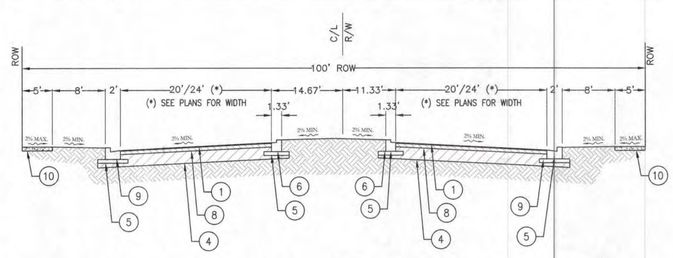
CHRISTINA M. BAXTER
LICENSE No. 67547
STATE OF FLORIDA
PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
P.E. NO. 067547
DATE November 12, 2020

POULOS & BENNETT

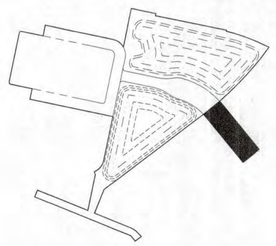
Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.487.2594 www.poulosandbennett.com
Eng. Bus. No. 28567

Z:\2018\18-007 PARK SQUARE - GRANDE PINES SFR\PHASE 1 - AMENITY\CAD\FINAL\COUNTY\18007-PH1-MSP



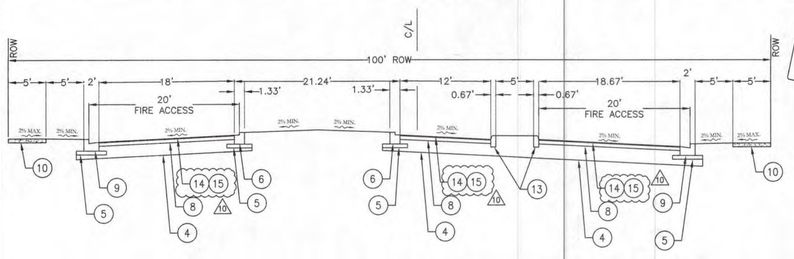
A TYPICAL ENTRANCE ROAD SECTION (100' ROW)

N.T.S.



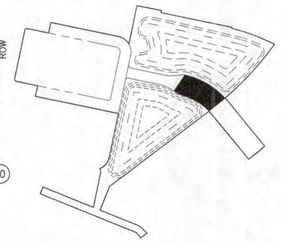
KEY MAP

N.T.S.



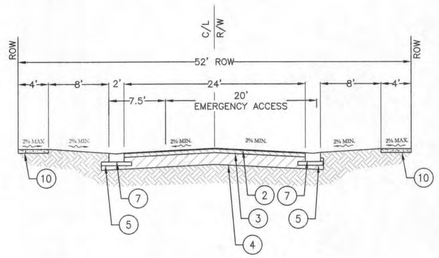
A2 TYPICAL GUARDHOUSE ROAD SECTION (100' ROW)

N.T.S.



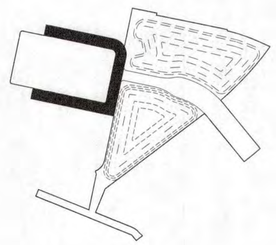
KEY MAP

N.T.S.



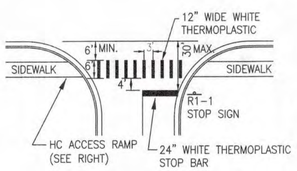
B TYPICAL ROAD SECTION (52' ROW)

N.T.S.



KEY MAP

N.T.S.



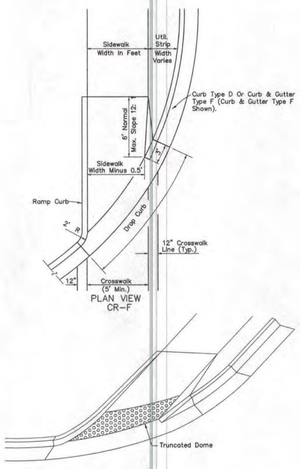
NOTE: STOP SIGNS TO BE 36" (HIGH INTENSITY) & STOP BARS TO BE 24" WIDE WHITE THERMOPLASTIC REFER TO FDOT INDEX 17346 FOR MORE INFORMATION.

CROSSWALK & HC RAMP DETAIL

REFER TO FDOT INDEX #0304 FOR PUBLIC & PRIVATE SIDEWALK CURB RAMPS

NTS

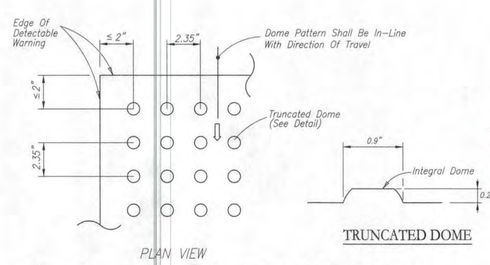
Pavement Legend		
	Symbol Id.	Description
	1	1.5" (IN.) TYPE SP-12.5 ASPHALT
	2	1.25" (IN.) TYPE SP-9.5 ASPHALT
	3	6" (IN.) SOIL CEMENT BASE COMPACTED TO 95% MAX. DENSITY PER AASHTO T-180 (MIN. 300 P.S.I. @ 7 DAYS)
3	4	12" (IN.) COMPACTED SUBGRADE TO 98% AASHTO MODIFIED PROCTOR T-180
	5	6" (IN.) STABILIZED SUBGRADE IN CURB AREA TO EXTEND 12" (IN.) EACH SIDE TO 50 FBV
	6	TYPE 'A' CONC. CURB
	7	MIAMI CONC. CURB
	8	8" (IN.) SOIL CEMENT BASE COMPACTED TO 95% MAX. DENSITY PER AASHTO T-180 (MIN. 300 P.S.I. @ 7 DAYS)
	9	TYPE 'F' CONC. CURB
	10	4" (IN.) THICK CONC. SIDEWALK (3000 P.S.I.)
	11	CONC. RIBBON CURB
	12	6" (IN.) STABILIZED SUBGRADE WITH MINIMUM 40 LBR WITH 2" (IN.) CAP OF SHELL OR CRUSHED CONCRETE
7	13	TYPE 'D' CONC. CURB
10	14	2 1/4" PAVERS
10	15	1" BUILDERS SAND



CR-F CURB RAMP DETAIL - ALL RAMPS

N.T.S.

NOTES:
1. ALL CURB RAMPS SHALL INCLUDE DETECTABLE WARNING SURFACE IN ACCORDANCE WITH FDOT INDEX 304. (SEE TRUNCATED DOME DETAIL SHEET C3.00)



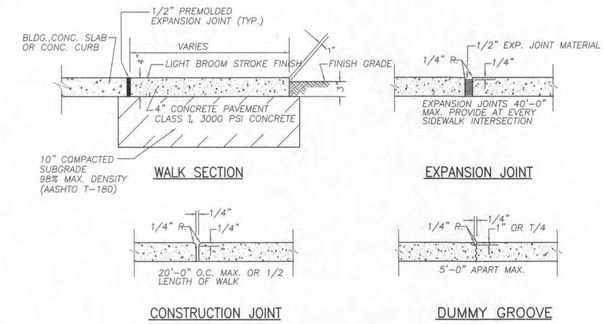
All sidewalk curb ramps shall have detectable warning surfaces that extend the full width of the ramp and in the direction of travel 24 inches (610 mm) from the back of curb.

CURB RAMP DETECTABLE WARNING SURFACE

REFER TO FDOT INDEX #304 PUBLIC SIDEWALK CURB RAMPS

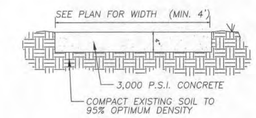
CURB RAMP DETECTABLE WARNING SURFACE DETAIL

N.T.S.



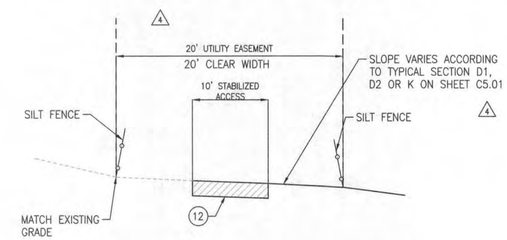
SIDEWALK JOINT DETAIL

NTS



SIDEWALK/CONCRETE PAD DETAIL

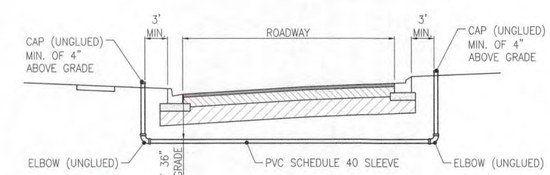
NTS



A 30-FOOT CLEAR WIDTH WITH 10' ACCESS ROAD IS REQUIRED OVER THE GRAVITY MAIN ALONG THE FUTURE ROADWAY. THIS 30-FOOT ACCESS ROAD SHALL INCLUDE 6-INCH STABILIZED SUB-GRADE WITH MINIMUM 40 LBR WITH 2-INCH CAP OF SHELL OR CRUSHED CONCRETE. THE MANHOLE TOP ELEVATIONS SHOULD BE SET 2-INCHES ABOVE THE ACCESS. THE MANHOLE ELEVATIONS MUST ALSO BE SET OVER THE 100-YEAR STORM ELEVATION TO PREVENT FLOODING.

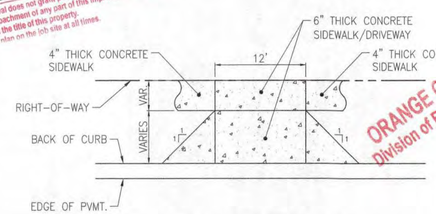
TYPICAL STABILIZED ACCESS ROAD SECTION

N.T.S.



SLEEVE INSTALLATION

N.T.S.



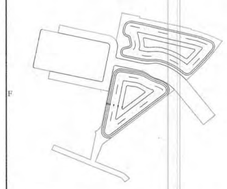
POND DRIVEWAY ACCESS DETAIL

N.T.S.

JOB COPY
Approved Plans
Orange County Building Division
Approved By KP Permit # B18906728
Date 6-21-21
This Approval does not grant permission to violate any Applicable Code. Encroachment of any part of this improvement can result in cloud on the title of this property.
Keep this plan on the job site at all times.

ORANGE COUNTY
Division of Building Safety

Key Map:



Consultant:

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2	4/17/19	RESUBMIT TO VWCD
1	2/21/19	RESUBMIT TO VWCD
	12/20/18	SUBMIT TO ORANGE COUNTY

SUBMISSIONS/REVISIONS

VERTICAL DATUM:	NAVD 88
JOB NO.:	18-007
DESIGNED BY:	CB
DRAWN BY:	CB/CSL/JSK/TF
CHECKED BY:	CB/CMB
APPROVED BY:	CMB
SCALE IN FEET:	N.T.S.

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

TYPICAL ROAD SECTION & DETAILS

Sheet No.:

C2.01

Seal:

CHRISTINA M. BAXTER LICENSE No. 67547 STATE OF FLORIDA PROFESSIONAL ENGINEER

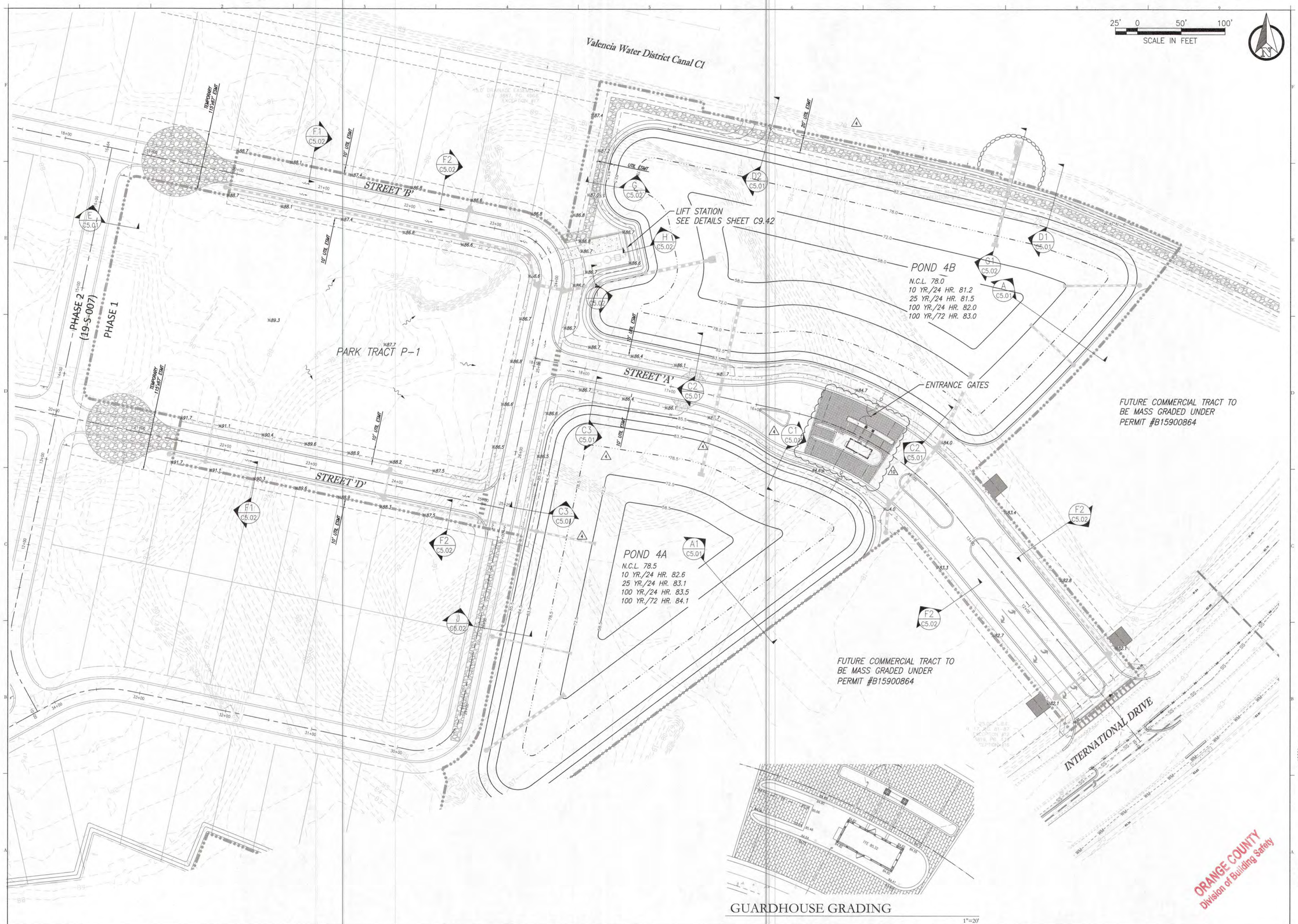
CHRISTINA M. BAXTER P.E. NO. 0067547

DATE: May 21, 2021

B18906728
Date 06-01-2021 Layer 4R

Tel. 407.487.2594 www.poulosandbennett.com
Eng. Bus. No. 28567

Z:\2018\18-007 PARK SQUARE - GRANDE PINES SFR\PHASE 1 - AMENITY\CAD\FINAL\COUNTY\18007-PH1-TRS



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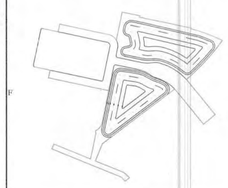

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APPROVED BY:	CMB
SCALE IN FEET:	1" = 50'

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

GRADING PLAN

Sheet No.:

C4.00

Seal:

CHRISTINA M. BAXTER LICENSE No. 67547 STATE OF FLORIDA PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
P.E. NO. 067547
DATE: May 24, 2021

POULOS & BENNETT

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.487.2594 www.poulosandbennett.com
Eng. Bus. No. 28567

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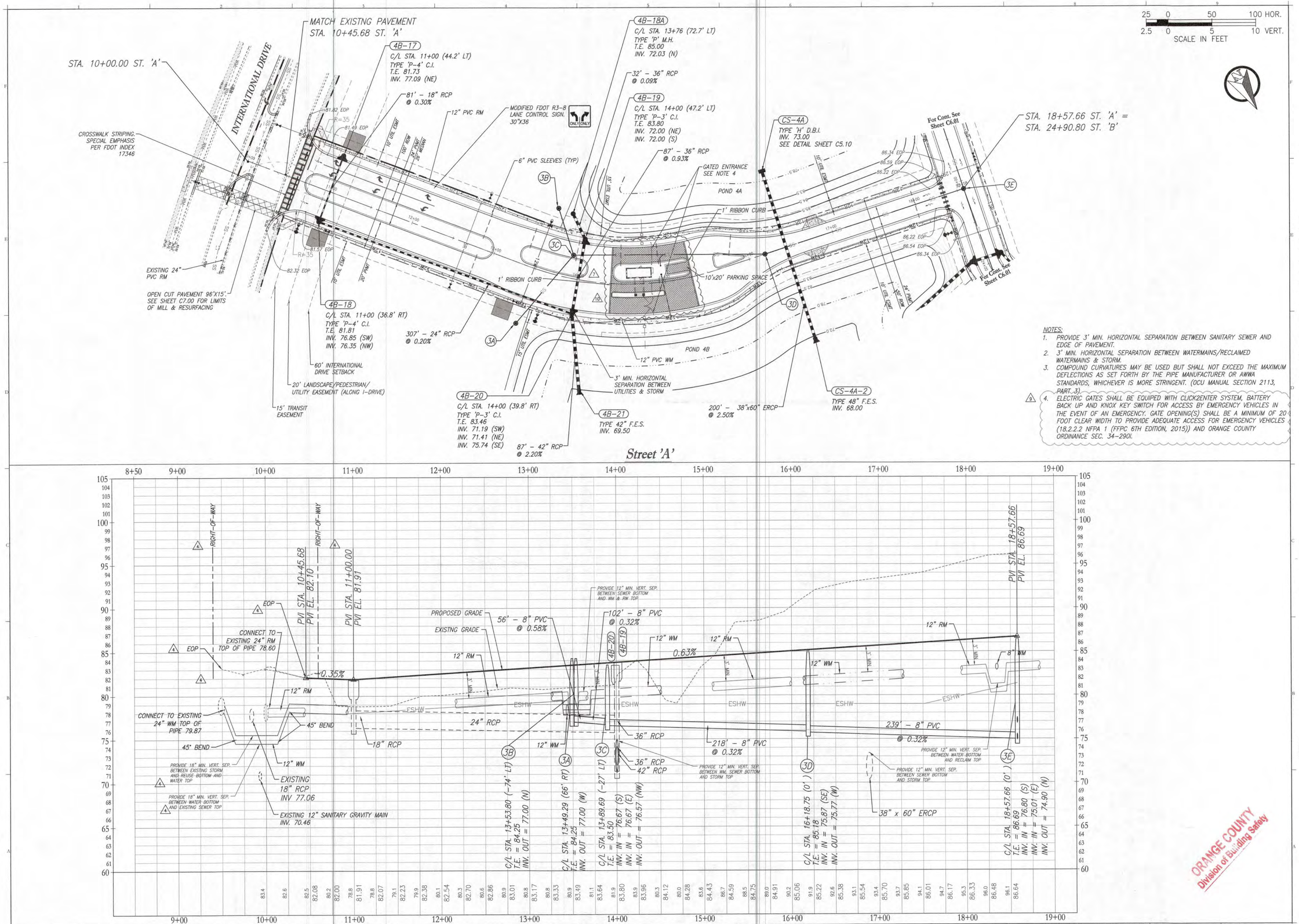
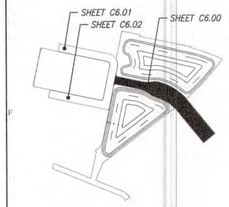


NOTES:

1. PROVIDE 3' MIN. HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND EDGE OF PAVEMENT.
2. 3' MIN. HORIZONTAL SEPARATION BETWEEN WATERMAINS/RECLAIMED WATERMAINS & STORM.
3. COMPOUND CURVATURES MAY BE USED BUT SHALL NOT EXCEED THE MAXIMUM DEFLECTIONS AS SET FORTH BY THE PIPE MANUFACTURER OR AWWA STANDARDS, WHICHEVER IS MORE STRINGENT. (OCU MANUAL SECTION 2113, PART. 3)
4. ELECTRIC GATES SHALL BE EQUIPPED WITH CLICK2ENTER SYSTEM, BATTERY BACK UP AND KNOX KEY SWITCH FOR ACCESS BY EMERGENCY VEHICLES IN THE EVENT OF AN EMERGENCY. GATE OPENING(S) SHALL BE A MINIMUM OF 20 FOOT CLEAR WIDTH TO PROVIDE ADEQUATE ACCESS FOR EMERGENCY VEHICLES (18.2.2.2 NFPA 1 (FFPC 6TH EDITION, 2015)) AND ORANGE COUNTY ORDINANCE SEC. 34-290I.

Key Map:



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SCALE IN FEET:	1" = 50'

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

PLAN & PROFILE

Sheet No.:

C6.00

Seal:

CHRISTINA M. BAXTER LICENSE No. 67547 STATE OF FLORIDA PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
P.E. NO. 067547
DATE: May 24, 2021

ORANGE COUNTY Division of Building Safety

POULOS & BENNETT

Poulos & Bennett, LLC
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Eng. Bus. No. 28567

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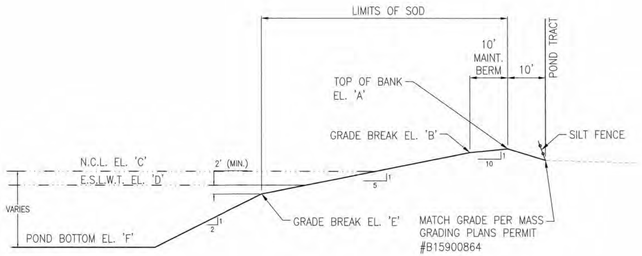
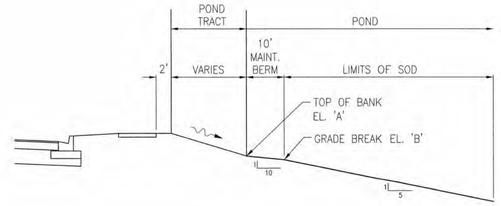
Pond Chart

Pond #	El. 'A'	El. 'B'	El. 'C'	El. 'D'	El. 'E'	El. 'F'
4A	84.5	83.5	78.5	74.5	72.5	58.5
4B	83.5	82.5	78.0	74.0	72.0	58.0



A TYPICAL POND GRADING SECTION
N.T.S.



C2 TYPICAL GRADING SECTION 1
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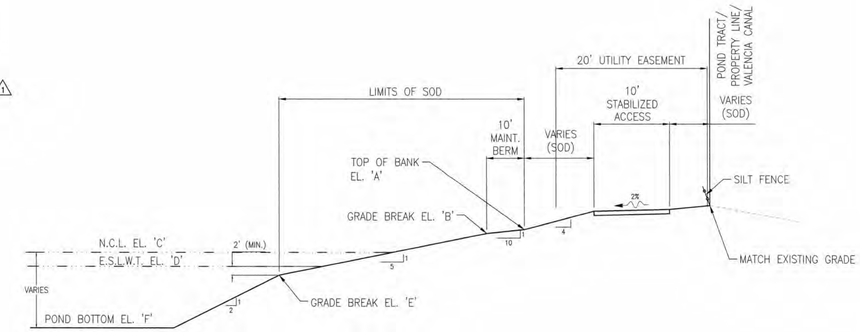

D2 TYPICAL POND GRADING SECTION
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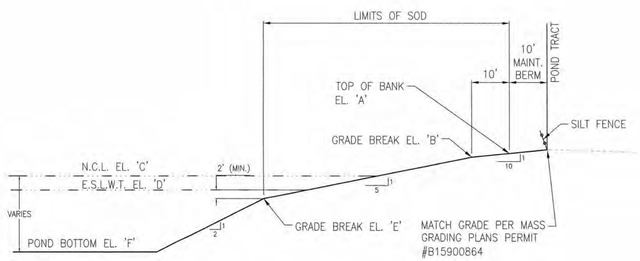

A1 TYPICAL POND GRADING SECTION
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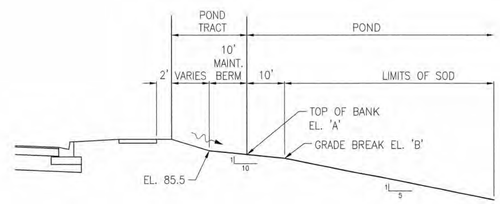

C3 TYPICAL GRADING SECTION 4
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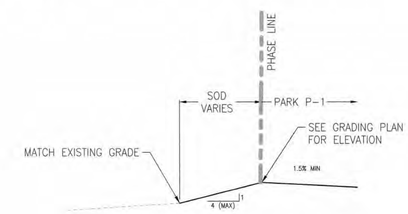

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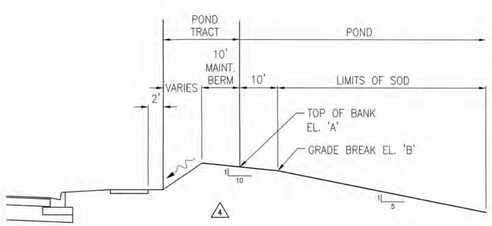

C1 TYPICAL GRADING SECTION
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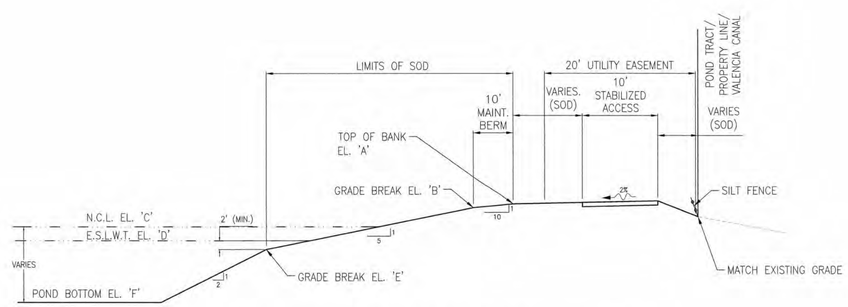


D1 TYPICAL POND GRADING SECTION
N.T.S.

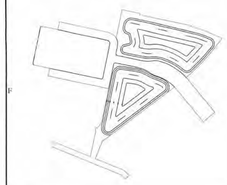
Utility Legend

Existing	Utility Type	Proposed
	STORM PIPES	
	STORM DBI	
	STORM CURB INLETS	
	STORM MANHOLES	
UD UD	UNDERDRAIN LINES	UD UD
SS SS	SANITARY PIPES	SS
	SANITARY MANHOLES	
FM FM	FORCEMAINS	FM

NOTES:

1. ALL PROPOSED GRAVITY SEWER SHALL BE 8" UNLESS OTHERWISE SPECIFIED.
2. THE PROPOSED DRY-LINE GRAVITY MAIN IS TO REMAIN PRIVATELY OWNED AND MAINTAINED UNTIL DEDICATED TO OCU WITH FUTURE DEVELOPMENT. THE MAINS SHALL BE TESTED AND INSPECTED PER THE OCU STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL AT TIME OF INSTALLATION AS WELL AS AT THE TIME OF DEDICATION TO OCU. THE PROPOSED DRY-LINE GRAVITY MAIN EXTENDING THE PLAT LIMITS IS ALSO TO REMAIN PRIVATELY OWNED AND MAINTAINED UNTIL DEDICATED TO OCU WITH FUTURE DEVELOPMENT.

Key Map:



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Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

GRADING DETAILS

Sheet No.:

C5.01

Seal:

CHRISTINA M. BAXTER LICENSE No. 67547 STATE OF FLORIDA PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
P.E. NO. 067547
DATE: November 12, 2020

POULOS & BENNETT

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.487.2594 www.poulosandbennett.com
Eng. Bus. No. 28567

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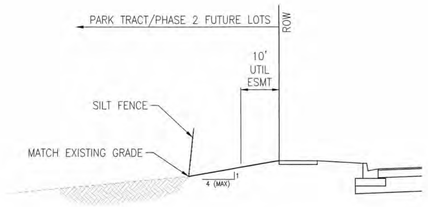

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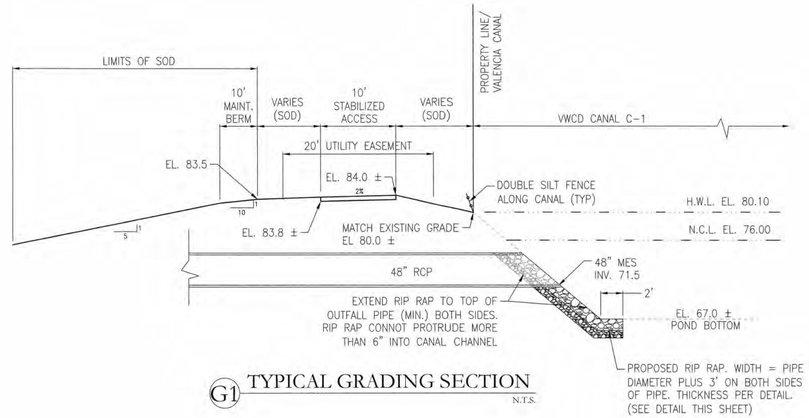

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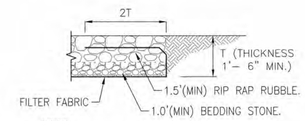
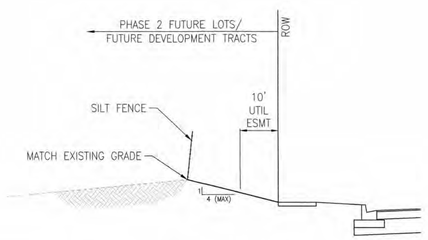


NOTES:
1. FILTER FABRIC SHALL BE FDOT TYPE D-2 PER FDOT SPECIFICATION 985 SPLICE LENGTH SHALL BE 6".

2. REFER TO FDOT SPECIFICATION 530-2.1.3.2 FOR CONCRETE RIP RAP.

3. REFER TO FDOT SPECIFICATION 530-2.1.4 FOR BEDDING STONE.

RIP RAP DETAIL
N.T.S.



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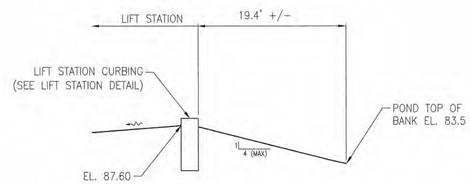

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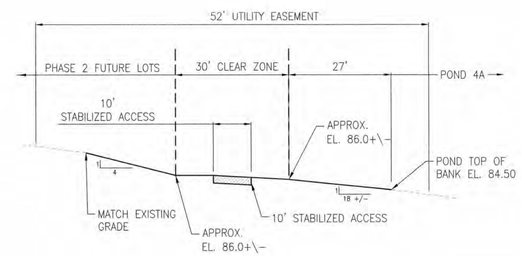

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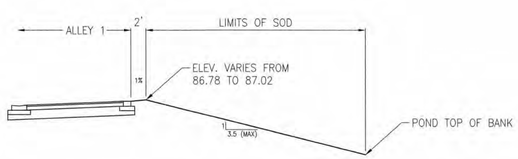

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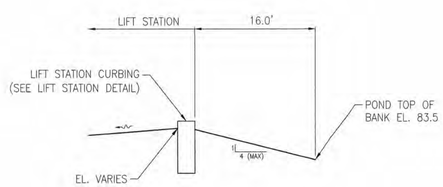
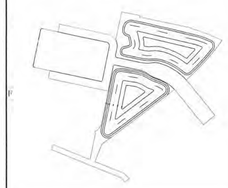


I TYPICAL GRADING SECTION
N.T.S.

ORANGE COUNTY Division of Building Safety

Key Map:



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Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

GRADING DETAILS

Sheet No.:

C5.02

Seal:

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CHRISTINA M. BAXTER P.E. NO. 067547

DATE: November 12, 2020

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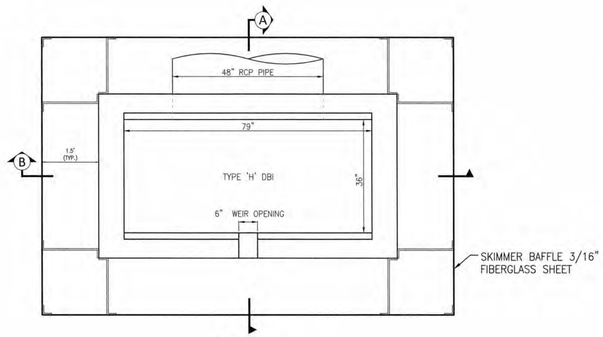
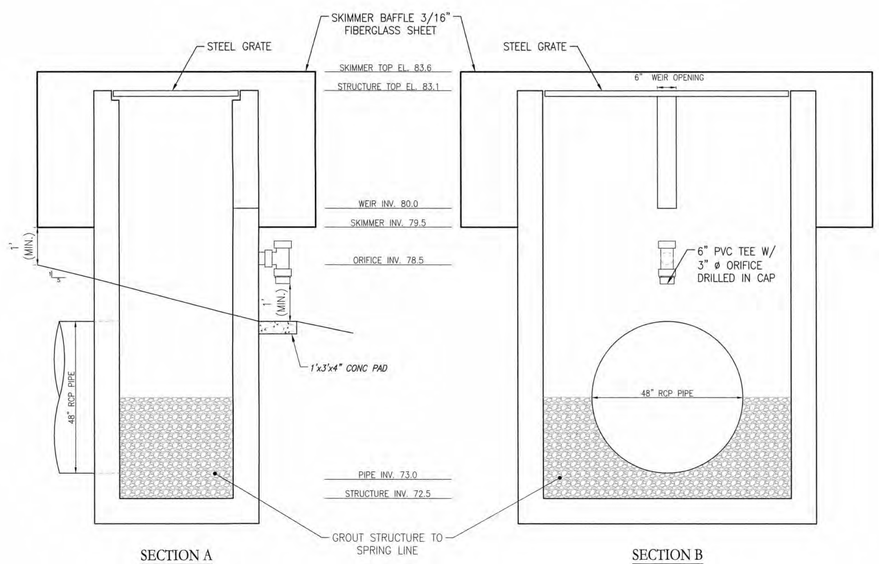


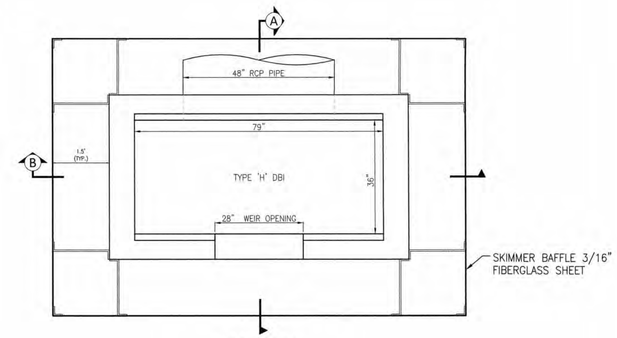
PLAN VIEW



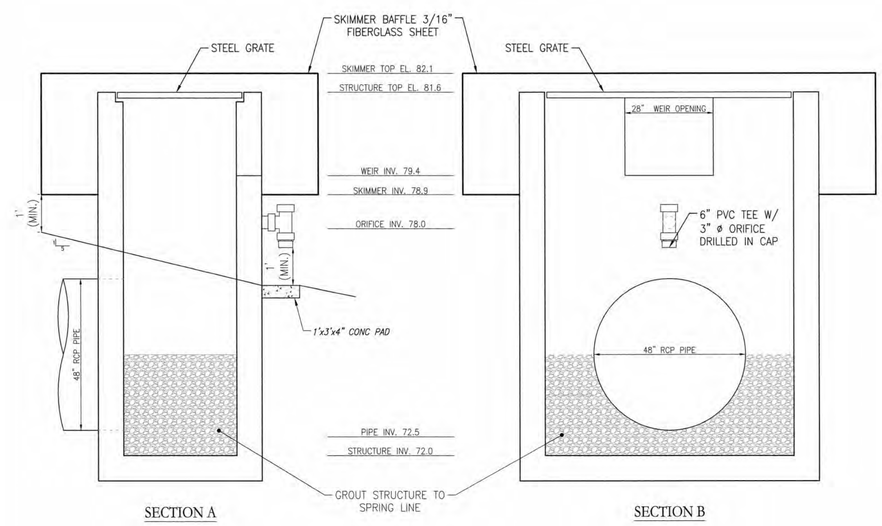
SECTION A

SECTION B

OUTFALL STRUCTURE #4A



PLAN VIEW

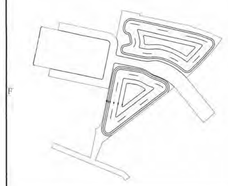


SECTION A

SECTION B

OUTFALL STRUCTURE #4B

Key Map:



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2	4/17/19	RESUBMIT TO VWCD
1	2/21/19	RESUBMIT TO VWCD
	12/20/18	SUBMIT TO ORANGE COUNTY

SUBMISSIONS/REVISIONS

VERTICAL DATUM:	NAVD 88
JOB NO.:	18-007
DESIGNED BY:	CB
DRAWN BY:	CB/CSL/JSK/TF
CHECKED BY:	CB/CMB
APPROVED BY:	CMB
SCALE IN FEET:	N.T.S.

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

CONTROL STRUCTURE

Sheet No.:

C5.10

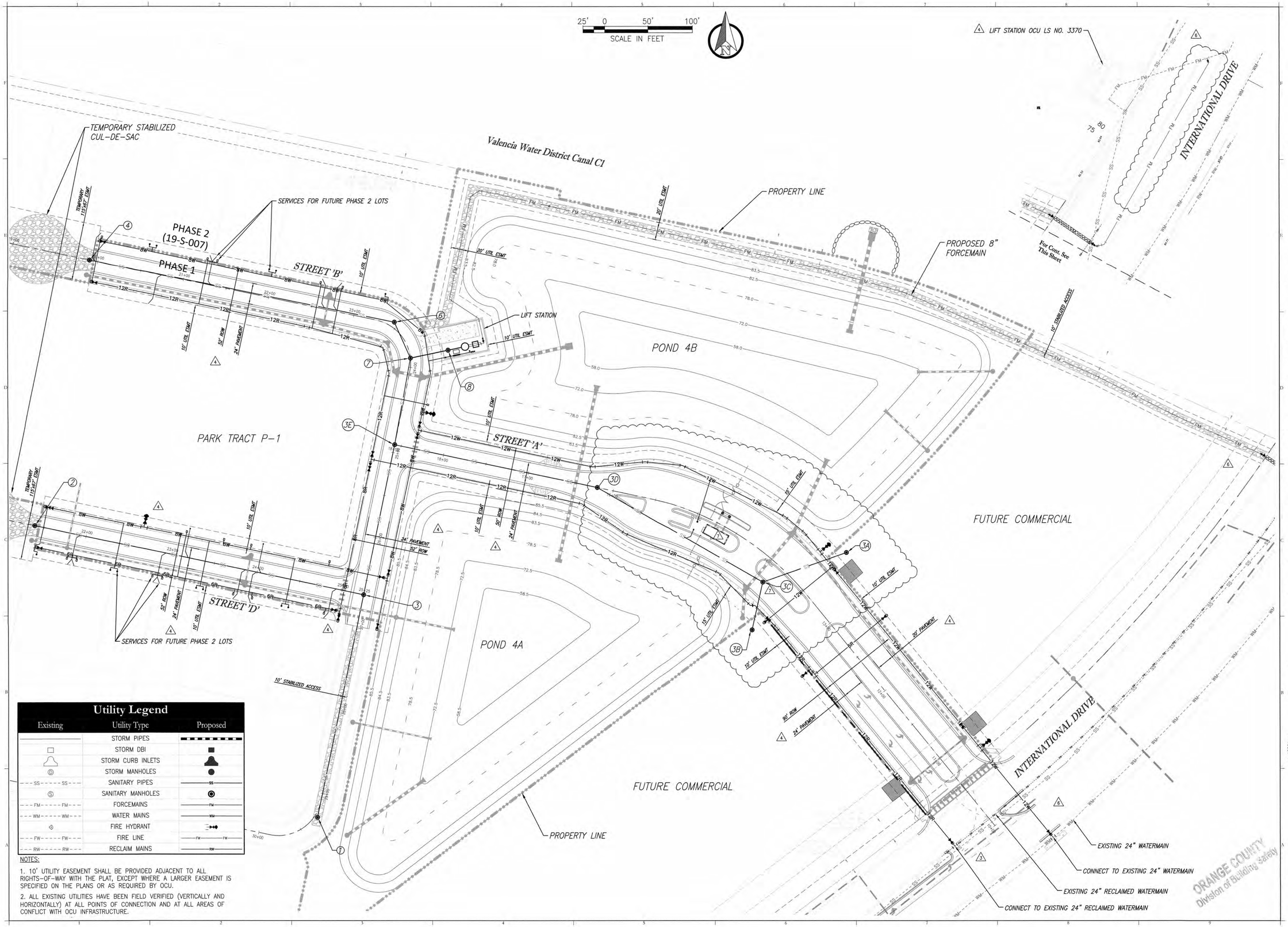
Seal:

CHRISTINA M. BAXTER LICENSE No. 67547 STATE OF FLORIDA PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
P.E. NO. 067547
DATE: November 12, 2020

POULOS & BENNETT

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.487.2594 www.poulosandbennett.com
Eng. Bus. No. 28567



Utility Legend

Existing	Utility Type	Proposed
	STORM PIPES	
	STORM DBI	
	STORM CURB INLETS	
	STORM MANHOLES	
SS	SANITARY PIPES	SS
	SANITARY MANHOLES	
FM	FORCEMAINS	FM
WM	WATER MAINS	WM
	FIRE HYDRANT	
FW	FIRE LINE	FW
RW	RECLAIM MAINS	RW

NOTES:

1. 10' UTILITY EASEMENT SHALL BE PROVIDED ADJACENT TO ALL RIGHTS-OF-WAY WITH THE PLAT, EXCEPT WHERE A LARGER EASEMENT IS SPECIFIED ON THE PLANS OR AS REQUIRED BY OCU.
2. ALL EXISTING UTILITIES HAVE BEEN FIELD VERIFIED (VERTICALLY AND HORIZONTALLY) AT ALL POINTS OF CONNECTION AND AT ALL AREAS OF CONFLICT WITH OCU INFRASTRUCTURE.

Key Map:

Consultant:

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SCALE IN FEET:	1" = 50'

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

UTILITY SITE PLAN

Sheet No.:

C5.20

Seal:

CHRISTINA M. BAXTER LICENSE No. 67547 STATE OF FLORIDA PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER P.E. NO. 067547

DATE November 12, 2020

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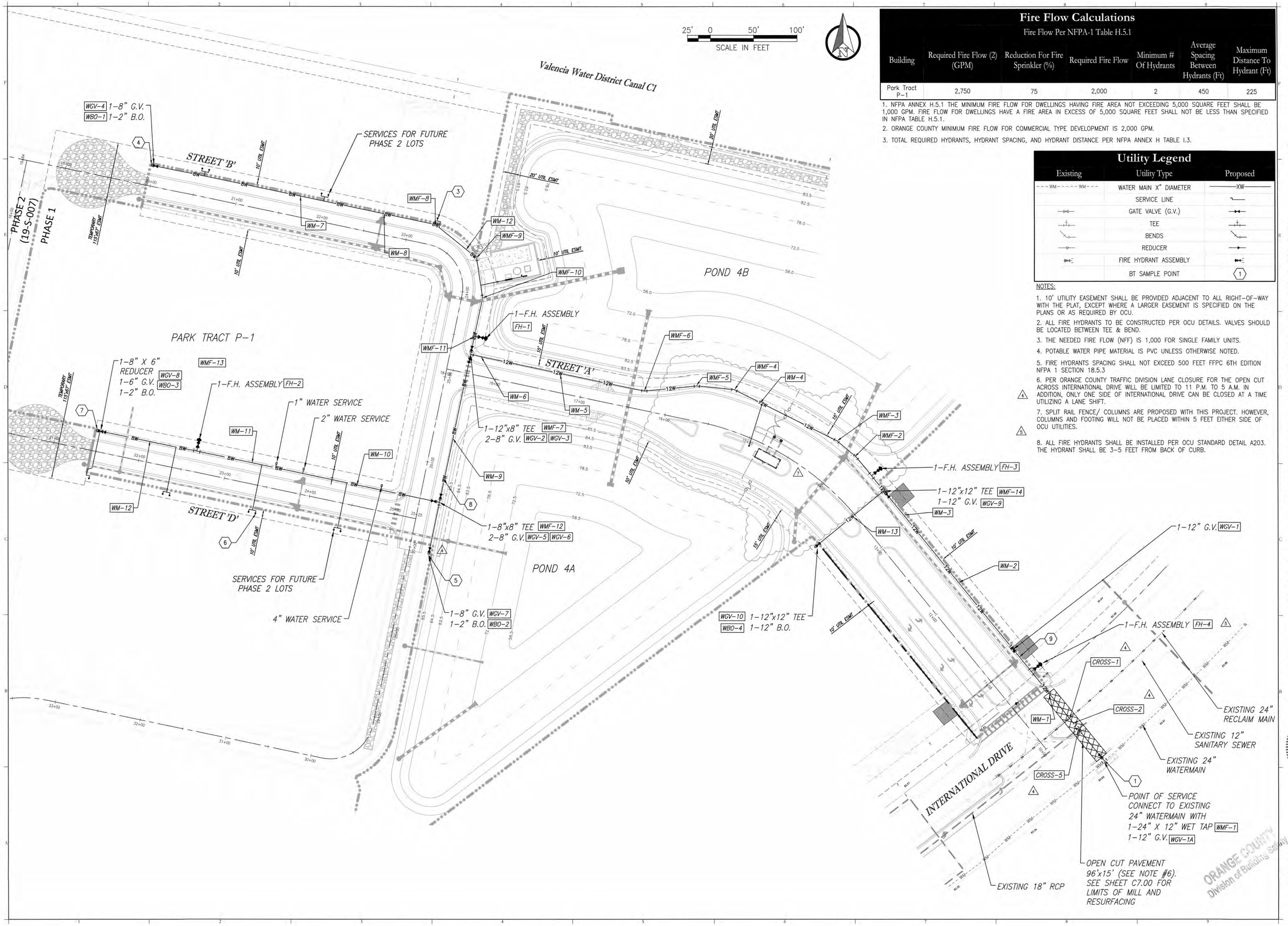


Fire Flow Calculations

Fire Flow Per NFPA-1 Table H.5.1

Building	Required Fire Flow (2) (GPM)	Reduction For Fire Sprinkler (%)	Required Fire Flow	Minimum # Of Hydrants	Average Spacing Between Hydrants (Ft)	Maximum Distance To Hydrant (Ft)
Park Tract P-1	2,750	75	2,000	2	450	225

1. NFPA ANNEX H.5.1 THE MINIMUM FIRE FLOW FOR DWELLINGS HAVING FIRE AREA NOT EXCEEDING 5,000 SQUARE FEET SHALL BE 1,000 GPM. FIRE FLOW FOR DWELLINGS HAVE A FIRE AREA IN EXCESS OF 5,000 SQUARE FEET SHALL NOT BE LESS THAN SPECIFIED IN NFPA TABLE H.5.1.
2. ORANGE COUNTY MINIMUM FIRE FLOW FOR COMMERCIAL TYPE DEVELOPMENT IS 2,000 GPM.
3. TOTAL REQUIRED HYDRANTS, HYDRANT SPACING, AND HYDRANT DISTANCE PER NFPA ANNEX H TABLE I.3.

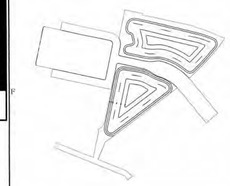
Utility Legend

Existing	Utility Type	Proposed
WM WM	WATER MAIN X" DIAMETER	XW
	SERVICE LINE	
	GATE VALVE (G.V.)	
	TEE	
	BENDS	
	REDUCER	
	FIRE HYDRANT ASSEMBLY	
	BT SAMPLE POINT	1

NOTES:

1. 10' UTILITY EASEMENT SHALL BE PROVIDED ADJACENT TO ALL RIGHT-OF-WAY WITH THE PLAT, EXCEPT WHERE A LARGER EASEMENT IS SPECIFIED ON THE PLANS OR AS REQUIRED BY OCU.
2. ALL FIRE HYDRANTS TO BE CONSTRUCTED PER OCU DETAILS. VALVES SHOULD BE LOCATED BETWEEN TEE & BEND.
3. THE NEEDED FIRE FLOW (NFF) IS 1,000 FOR SINGLE FAMILY UNITS.
4. POTABLE WATER PIPE MATERIAL IS PVC UNLESS OTHERWISE NOTED.
5. FIRE HYDRANTS SPACING SHALL NOT EXCEED 500 FEET FFPC 6TH EDITION NFPA 1 SECTION 18.5.3
6. PER ORANGE COUNTY TRAFFIC DIVISION LANE CLOSURE FOR THE OPEN CUT ACROSS INTERNATIONAL DRIVE WILL BE LIMITED TO 11 P.M. TO 5 A.M. IN ADDITION, ONLY ONE SIDE OF INTERNATIONAL DRIVE CAN BE CLOSED AT A TIME UTILIZING A LANE SHIFT.
7. SPLIT RAIL FENCE/ COLUMNS ARE PROPOSED WITH THIS PROJECT. HOWEVER, COLUMNS AND FOOTING WILL NOT BE PLACED WITHIN 5 FEET EITHER SIDE OF OCU UTILITIES.
8. ALL FIRE HYDRANTS SHALL BE INSTALLED PER OCU STANDARD DETAIL A203. THE HYDRANT SHALL BE 3-5 FEET FROM BACK OF CURB.

Key Map:



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SCALE IN FEET:	1" = 50'

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

WATER DISTRIBUTION PLAN

Sheet No.:

C5.30

Seal:

CHRISTINA M. BAXTER LICENSE No. 67547 STATE OF FLORIDA PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER P.E. NO. 0067547

DATE: November 12, 2020

POULOS & BENNETT

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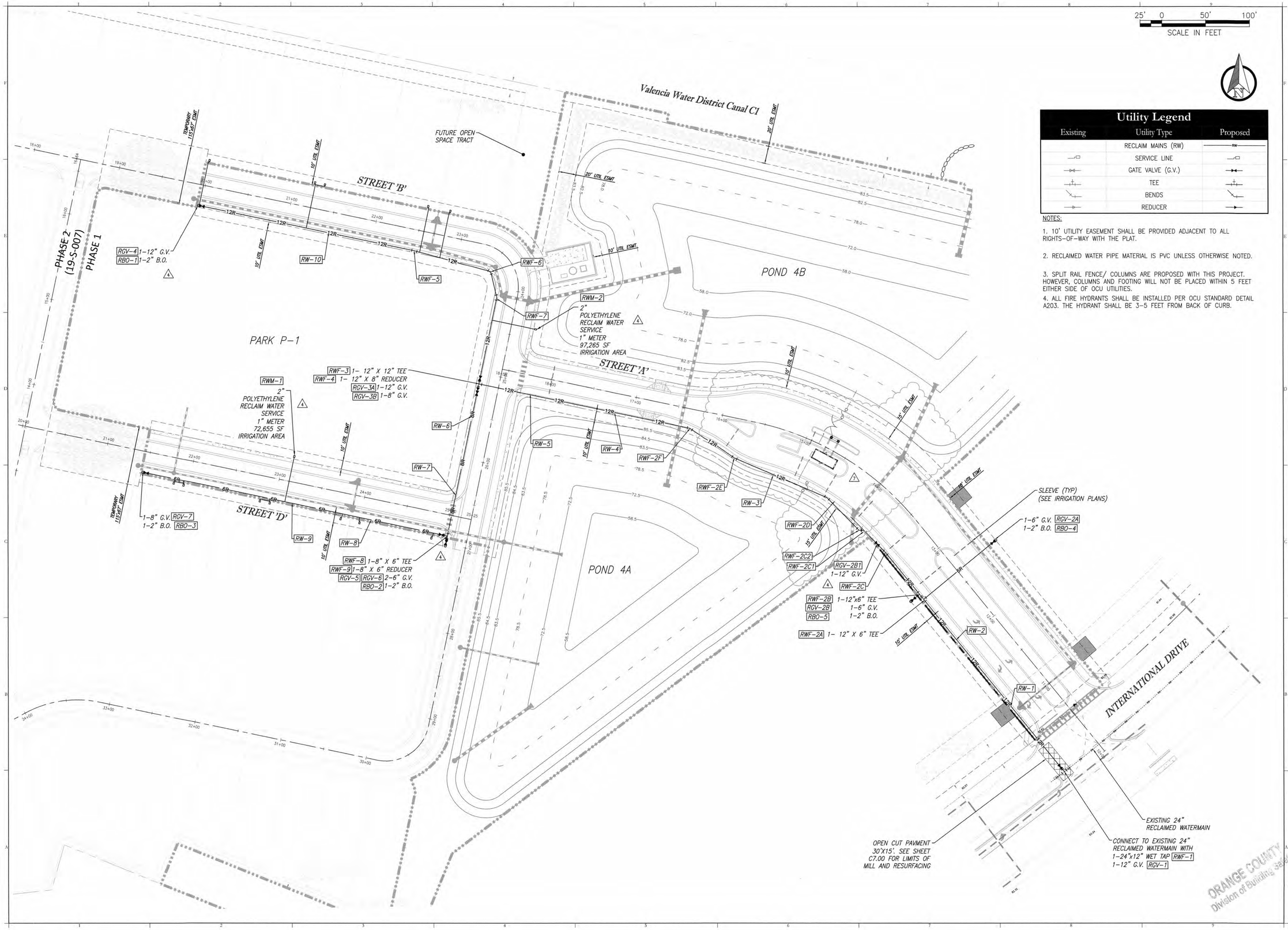


Utility Legend

Existing	Utility Type	Proposed
	RECLAIM MAINS (RW)	RW
	SERVICE LINE	
	GATE VALVE (G.V.)	
	TEE	
	BENDS	
	REDUCER	

NOTES:

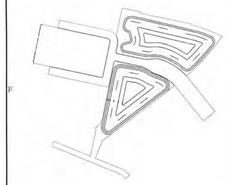
1. 10' UTILITY EASEMENT SHALL BE PROVIDED ADJACENT TO ALL RIGHTS-OF-WAY WITH THE PLAT.

2. RECLAIMED WATER PIPE MATERIAL IS PVC UNLESS OTHERWISE NOTED.

3. SPLIT RAIL FENCE/ COLUMNS ARE PROPOSED WITH THIS PROJECT. HOWEVER, COLUMNS AND FOOTING WILL NOT BE PLACED WITHIN 5 FEET EITHER SIDE OF OCU UTILITIES.

4. ALL FIRE HYDRANTS SHALL BE INSTALLED PER OCU STANDARD DETAIL A203. THE HYDRANT SHALL BE 3-5 FEET FROM BACK OF CURB.

Key Map:



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SCALE IN FEET:	1" = 50'

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

RECLAIMED WATER DISTRIBUTION PLAN

Sheet No.:

C5.40

Seal:

CHRISTINA M. BAXTER LICENSE No. 67547 STATE OF FLORIDA PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER P.E. NO. 0067547

DATE: November 12, 2020

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Reclaim Pipes Worksheet

I.D Number	Plan Sheet #	Coordinates Northing	Coordinates Easting	Coordinates Elevation	Main Type	Type of Shot	Construction Method	Material	Pressure Class	Manufacturer	Comments
RW-1	C5.40				Reclaim Water Main			PVC	DR18		
RW-2	C5.40				Reclaim Water Main			PVC	DR18		
RW-3	C5.40				Reclaim Water Main			PVC	DR18		
RW-4	C5.40				Reclaim Water Main			PVC	DR18		
RW-5	C5.40				Reclaim Water Main			PVC	DR18		
RW-6	C5.40				Reclaim Water Main			PVC	DR18		
RW-7	C5.40				Reclaim Water Main			PVC	DR18		
RW-8	C5.40				Reclaim Water Main			PVC	DR18		
RW-9	C5.40				Reclaim Water Main			PVC	DR18		
RW-10	C5.40				Reclaim Water Main			PVC	DR18		

Wastewater Manholes Worksheet

I.D Number	Plan Sheet #	Coordinates Northing	Coordinates Easting	Coordinates Rim Elevation	Invert Elevations N	NE	E	SE	S	SW	W	NW	Manufacturer
SS-1	C5.00												
SS-2	C5.00												
SS-3	C5.00												
SS-4	C5.00												
SS-5	C5.00												
SS-6	C5.00												
SS-7	C5.00												
SS-8	C5.00												

Reclaim Water Valves Worksheet

I.D Number	Plan Sheet #	Coordinates Northing	Coordinates Easting	Coordinates Elevation	Size	Valve Type	Main Type	Manufacturer	Model #	# of Turns to Close	Gear Actuator	Gear Ratio	Side Actuator	Actuator Manufacturer	Comments
RGV-1	C5.40				12"	Gate	Reclaim Water Main								
RGV-2A	C5.40				6"	Gate	Reclaim Water Main								
RGV-2B	C5.40				6"	Gate	Reclaim Water Main								
RGV-2B1	C5.40				12"	Gate	Reclaim Water Main								
RGV-3A	C5.40				12"	Gate	Reclaim Water Main								
RGV-3B	C5.40				8"	Gate	Reclaim Water Main								
RGV-3	C5.40				8"	Gate	Reclaim Water Main								
RGV-4	C5.40				12"	Gate	Reclaim Water Main								
RGV-5	C5.40				6"	Gate	Reclaim Water Main								
RGV-6	C5.40				6"	Gate	Reclaim Water Main								
RGV-7	C5.40				8"	Gate	Reclaim Water Main								
RBO-1	C5.40				2"	Blow Off	Reclaim Water Main								
RBO-2	C5.40				2"	Blow Off	Reclaim Water Main								
RBO-3	C5.40				2"	Blow Off	Reclaim Water Main								
RBO-4	C5.40				2"	Blow Off	Reclaim Water Main								
RBO-5	C5.40				2"	Blow Off	Reclaim Water Main								

Hydrants Worksheet

I.D Number	Plan Sheet #	UTILITIES Asset Number	Coordinates Northing	Coordinates Easting	Coordinates Elevation	Manufacturer	Model #	Comments
FH-1	C5.30							
FH-2	C5.30							
FH-3	C5.30							
FH-4	C5.30							

Water Main Fittings Worksheet

I.D Number	Plan Sheet #	Coordinates Northing	Coordinates Easting	Coordinates Elevation	Main Type	Fitting Size	Fitting Type	Comments
WMF-1	C5.30				Water Main	24" x 12"	WET TAP	
WMF-2	C5.30				Water Main	12"	11.25 BEND	
WMF-3	C5.30				Water Main	12"	11.25 BEND	
WMF-4	C5.30				Water Main	12"	22.5 BEND	
WMF-5	C5.30				Water Main	12"	11.25 BEND	
WMF-6	C5.30				Water Main	12"	11.25 BEND	
WMF-7	C5.30				Water Main	12" x 8"	TEE	
WMF-8	C5.30				Water Main	8"	22.5 BEND	
WMF-9	C5.30				Water Main	8"	45 BEND	
WMF-10	C5.30				Water Main	8"	22.5 BEND	
WMF-11	C5.30				Water Main	8" X 6"	TEE	
WMF-12	C5.30				Water Main	8" X 8"	TEE	
WMF-13	C5.30				Water Main	8" X 6"	REDUCER	
WMF-14	C5.30				Water Main	12"x12"	TEE	

Water Meter Worksheet

I.D Number	Plan Sheet #	Coordinates Northing	Coordinates Easting	Coordinates Elevation	Main Type	Comments
WMM-1	C9.42				Water Main	

Well Worksheet

I.D Number	Plan Sheet #	Coordinates Northing	Coordinates Easting	Coordinates Elevation	Comments
LS-1	C9.42				

Forcemain Pipes Worksheet

I.D Number	Plan Sheet #	Coordinates Northing	Coordinates Easting	Coordinates Elevation	Main Type	Type of Shot	Construction Method	Material	Pressure Class	Manufacturer	Comments
FM-1	C6.03				Force Main			PVC	DR18		
FM-1A	C6.03				Force Main			PVC	DR18		
FM-2	C6.03				Force Main			PVC	DR18		
FM-3	C6.03				Force Main			PVC	DR18		
FM-4	C6.03				Force Main			PVC	DR18		
FM-5	C6.03				Force Main			PVC	DR18		
FM-6	C6.03				Force Main			PVC	DR18		
FM-7	C6.03				Force Main			PVC	DR18		
FM-8	C6.03				Force Main			PVC	DR18		
FM-9	C6.03				Force Main			PVC	DR18		

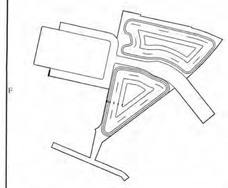
Reclaim Water Fittings Worksheet

I.D Number	Plan Sheet #	Coordinates Northing	Coordinates Easting	Coordinates Elevation	Main Type	Fitting Size	Fitting Type	Comments
RWF-1	C5.40				Reclaim Water Main	24" X 12"	WET TAP	
RWF-2A	C5.40				Reclaim Water Main	12" x 6"	TEE	
RWF-2B	C5.40				Reclaim Water Main	12" x 6"	TEE	
RWF-2C	C5.40				Reclaim Water Main	12"	11.25 BEND	
RWF-2C1	C5.40				Reclaim Water Main	12"	45 BEND	
RWF-2C2	C5.40				Reclaim Water Main	12"	45 BEND	
RWF-2D	C5.40				Reclaim Water Main	12"	11.25 BEND	
RWF-2E	C5.40				Reclaim Water Main	12"	11.25 BEND	
RWF-2F	C5.40				Reclaim Water Main	12"	22.5 BEND	
RWF-3	C5.40				Reclaim Water Main	12" x 12"	TEE	
RWF-4	C5.40				Reclaim Water Main	12" X 8"	REDUCER	
RWF-5	C5.40				Reclaim Water Main	12"	5.125 BEND	
RWF-6	C5.40				Reclaim Water Main	12"	45 BEND	
RWF-7	C5.40				Reclaim Water Main	12"	25 BEND	

Existing OC Utility Crossing Worksheet

I.D Number	Plan Sheet #	Coordinates Northing	Coordinates Easting	Exist. Pipe Elev.	Pipe Crossing Elev.	Exist. Main Type	Comments
CROSS-1	C5.30					Reclaim	
CROSS-2	C5.30					Gravity Sewer	
CROSS-3	C6.03					Reclaim	
CROSS-4	C6.03					Gravity Sewer	
CROSS-5	C5.30					Storm	

Key Map:



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4	8/8/19	RESUBMIT TO ORANGE COUNTY
	5/29/19	BID SET
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1	2/21/19	RESUBMIT TO VWCD
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SCALE IN FEET:	N.T.S.

Project Name:

GRANDE PINES
ORANGEWOOD
N-2 PD
PARCEL 11D
PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

UTILITY ASSET TABLES

Sheet No.:

C5.50

Seal:

CHRISTINA M. BAXTER
LICENSE No. 67547
STATE OF FLORIDA
PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
P.E. NO. 067547
DATE: November 12, 2020

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Forcemain Fittings Worksheet

I.D Number	Plan Sheet #	Coordinates Northing	Coordinates Easting	Coordinates Elevation	Main Type	Fitting Size	Fitting Type	Comments
FMF-1	C6.03				Forcemain	8"	90 BEND	
FMF-2	C6.03				Forcemain	8"	45 BEND	
FMF-3	C6.03				Forcemain	8"	45 BEND	
FMF-4	C6.03				Forcemain	8"	45 BEND	
FMF-5	C6.03				Forcemain	8"	45 BEND	
FMF-6	C6.03				Forcemain	8"	11.25 BEND	
FMF-7	C6.03				Forcemain	8"	11.25 BEND	
FMF-8	C6.03				Forcemain	8"	11.25 BEND	
FMF-9	C6.03				Forcemain	8"	11.25 BEND	
FMF-10	C6.03				Forcemain	8"	11.25 BEND	
FMF-11	C6.03				Forcemain	8"	45 BEND	
FMF-12	C6.03				Forcemain	8"	45 BEND	
FMF-13	C6.03				Forcemain	8"	45 BEND	
6 FMF-14	C6.03				Forcemain	12" x 8"	WET TAP SLEEVE	
FMF-14A	C6.03				Forcemain	12"	TAPPING SADDLE	
FMF-15	C6.03				Forcemain	10"x8"	REDUCER	
FMF-16	C6.03				Forcemain	10"x8"	REDUCER	

Reuse Meter Worksheet

I.D Number	Plan Sheet #	Coordinates Northing	Coordinates Easting	Coordinates Elevation	Main Type	Comments
RWM-1	C5.40				Reclaim Water Main	
RWM-2	C5.40				Reclaim Water Main	

Water Pipes Worksheet

I.D Number	Plan Sheet #	Coordinates Northing	Coordinates Easting	Coordinates Elevation	Main Type	Type of Shot	Construction Method	Material	Pressure Class	Manufacturer	Comments
WM-1	C5.30				Water Main			PVC	DR18		
WM-2	C5.30				Water Main			PVC	DR18		
WM-3	C5.30				Water Main			PVC	DR18		
WM-4	C5.30				Water Main			PVC	DR18		
WM-5	C5.30				Water Main			PVC	DR18		
WM-6	C5.30				Water Main			PVC	DR18		
WM-7	C5.30				Water Main			PVC	DR18		
WM-8	C5.30				Water Main			PVC	DR18		
WM-9	C5.30				Water Main			PVC	DR18		
WM-10	C5.30				Water Main			PVC	DR18		
WM-11	C5.30				Water Main			PVC	DR18		
WM-12	C5.30				Water Main			PVC	DR18		
WM-13	C5.30				Water Main			PVC	DR18		

Water Valves Worksheet

I.D Number	Plan Sheet #	Coordinates Northing	Coordinates Easting	Coordinates Elevation	Size	Valve Type	Main Type	# of Turns to Close	Gear Actuator	Gear Ratio	Side Actuator	Actuator Manufacturer	Comments
WGV-1	C5.30				12"	Gate	Water Main						
WGV-1A	C5.30				12"	Gate	Water Main						
WGV-2	C5.30				8"	Gate	Water Main						
WGV-3	C5.30				8"	Gate	Water Main						
WGV-4	C5.30				8"	Gate	Water Main						
WGV-5	C5.30				8"	Gate	Water Main						
WGV-6	C5.30				8"	Gate	Water Main						
WGV-7	C5.30				8"	Gate	Water Main						
WGV-8	C5.30				6"	Gate	Water Main						
WGV-9	C5.30				12"	Gate	Water Main						
WGV-10	C5.30				12"	Gate	Water Main						
WBO-1	C5.30				2"	Blow Off	Water Main						
WBO-2	C5.30				2"	Blow Off	Water Main						
WBO-3	C5.30				2"	Blow Off	Water Main						
WBO-4	C5.30				2"	Blow Off	Water Main						

Easements Worksheet

I.D Number	Plan Sheet #	Coordinates Northing	Coordinates Easting	Coordinates Elevation	Boundary Corner Type	Comments
CO-1	C6.03				Utility Easement	
6 CO-2	C6.03				Utility Easement	
CO-3	C6.03				Utility Easement	
CO-4	C6.03				Utility Easement	
CO-5	C6.03				Utility Easement	
CO-6	C6.03				Utility Easement	
CO-7	C6.03				Utility Easement	
CO-8	C6.03				Utility Easement	
CO-9	C6.03				Utility Easement	
CO-10	C6.03				Utility Easement	
CO-11	C6.03				Utility Easement	
CO-12	C6.03				Utility Easement	
CO-13	C6.03				Utility Easement	
CO-14	C6.03				Utility Easement	
CO-15	C6.03				Utility Easement	
CO-16	C6.03				Utility Easement	
CO-17	C6.03				Utility Easement	
CO-18	C6.03				Utility Easement	
CO-19	C6.03				Utility Easement	
CO-20	C6.03				Utility Easement	
CO-21	C9.42				Lift Station Tract	
CO-22	C9.42				Lift Station Tract	
CO-23	C9.42				Lift Station Tract	
CO-24	C9.42				Lift Station Tract	

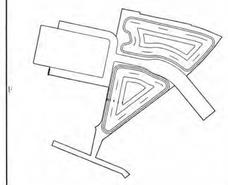
Forcemain Valves Worksheet

I.D Number	Plan Sheet #	Coordinates Northing	Coordinates Easting	Coordinates Elevation	Size	Valve Type	Main Type	Manufacturer	Model #	# of Turns to Close	Gear Actuator	Gear Ratio	Side Actuator	Actuator Manufacturer	Comments
FPV-1	C6.03				8"	PLUG	Forcemain								
FPV-2	C6.03				8"	PLUG	Forcemain								
6 FPV-3	C6.03				8"	PLUG	Forcemain								
FPV-4	C6.03				8"	PLUG	Forcemain								
ARV-1	C6.03				8"	ARV	Forcemain								
ARV-2	C6.03				8"	ARV	Forcemain								

Cleanouts Worksheet

I.D Number	Lot Number	Plan Sheet #	Coordinates Northing	Coordinates Easting	Coordinates Elevation	Comments
CO-1	1	C5.00				
CO-2	2	C5.00				
CO-3	3	C5.00				
CO-4	4	C5.00				
CO-5	5	C5.00				
CO-6	6	C5.00				
CO-109	109	C5.00				
CO-110	110	C5.00				
CO-111	111	C5.00				
CO-112	112	C5.00				
CO-113	113	C5.00				
CO-P1	PARK	C5.00				
7 CO-GH	GUARDHOUSE	C5.00				

Key Map:



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2	4/17/19	RESUBMIT TO VWCD
1	2/21/19	RESUBMIT TO VWCD
	12/20/18	SUBMIT TO ORANGE COUNTY

SUBMISSIONS/REVISIONS

VERTICAL DATUM:	NAVD 88
JOB NO.:	18-007
DESIGNED BY:	CB
DRAWN BY:	CB/CSL/JSK/TF
CHECKED BY:	CB/CMB
APPROVED BY:	CMB
SCALE IN FEET:	N.T.S.

Project Name:

GRANDE PINES
ORANGEWOOD
N-2 PD
PARCEL 11D
PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

UTILITY ASSET TABLES

Sheet No.:

C5.51

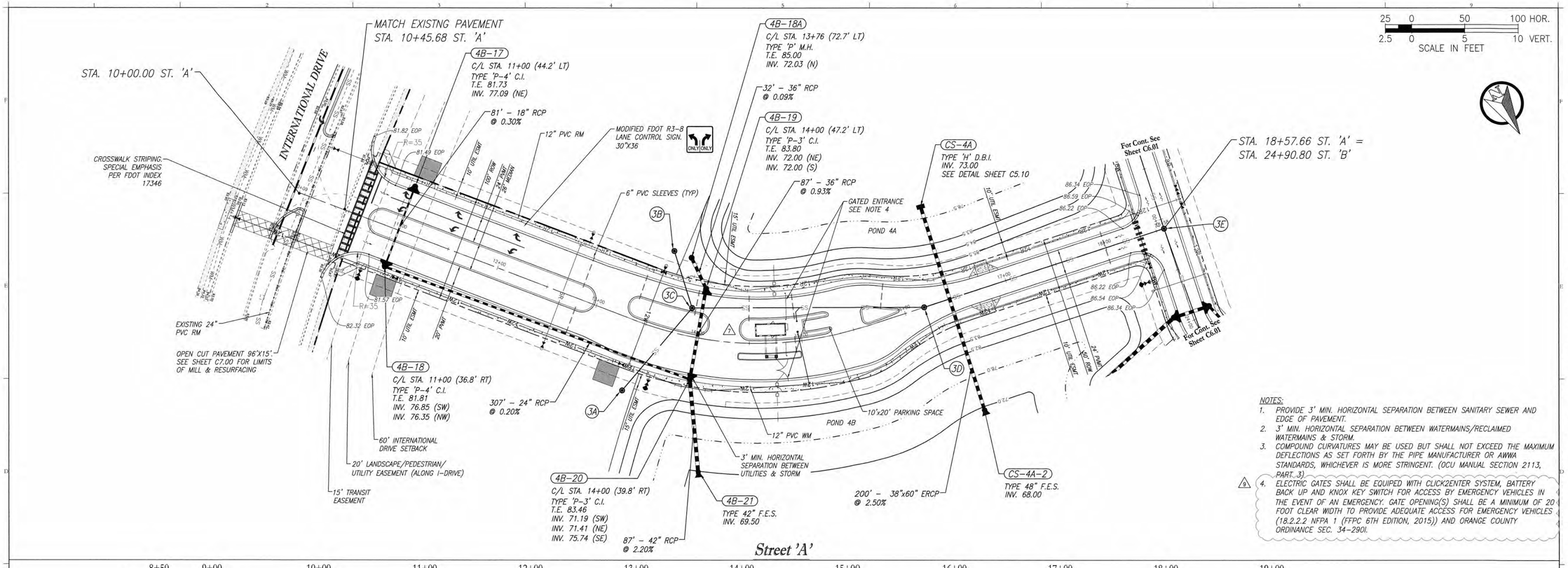
Seal:

CHRISTINA M. BAXTER LICENSE No. 67547 STATE OF FLORIDA PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
P.E. NO. 067547
DATE: November 12, 2020

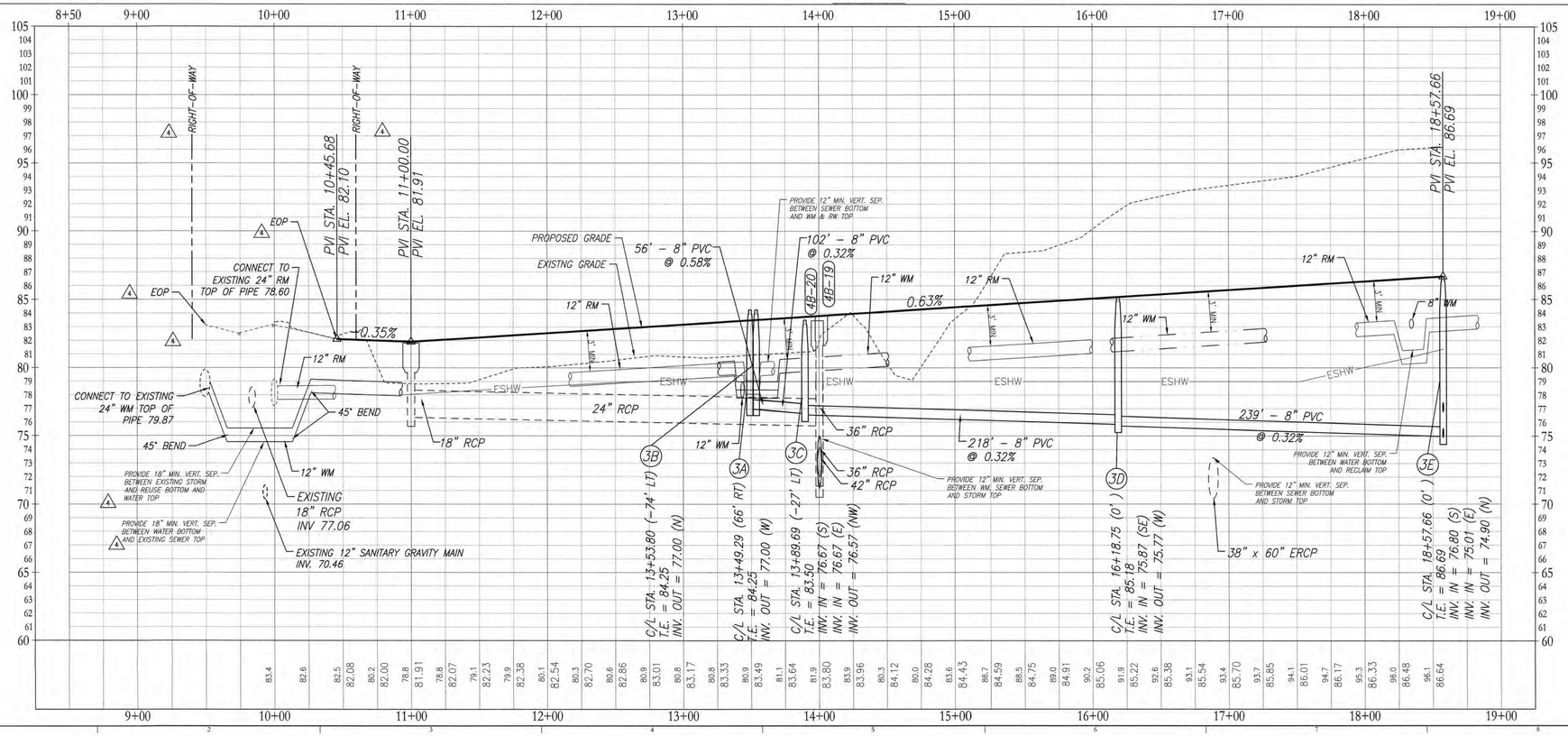
POULOS & BENNETT

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.487.2594 www.poulosandbennett.com
Eng. Bus. No. 28567



NOTES:

1. PROVIDE 3' MIN. HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND EDGE OF PAVEMENT.
2. 3' MIN. HORIZONTAL SEPARATION BETWEEN WATERMAINS/RECLAIMED WATERMAINS & STORM.
3. COMPOUND CURVATURES MAY BE USED BUT SHALL NOT EXCEED THE MAXIMUM DEFLECTIONS AS SET FORTH BY THE PIPE MANUFACTURER OR AWWA STANDARDS, WHICHEVER IS MORE STRINGENT. (OCU MANUAL SECTION 2113, PART. 3)
4. ELECTRIC GATES SHALL BE EQUIPPED WITH CLICK2ENTER SYSTEM, BATTERY BACK UP AND KNOX KEY SWITCH FOR ACCESS BY EMERGENCY VEHICLES IN THE EVENT OF AN EMERGENCY. GATE OPENING(S) SHALL BE A MINIMUM OF 20 FOOT CLEAR WIDTH TO PROVIDE ADEQUATE ACCESS FOR EMERGENCY VEHICLES (18.2.2.2 NFPA 1 (FFPC 6TH EDITION, 2015)) AND ORANGE COUNTY ORDINANCE SEC. 34-290I.



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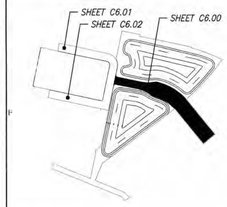

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SCALE IN FEET:	1" = 50'

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

PLAN & PROFILE

Sheet No.:

C6.00

Seal:

CHRISTINA M. BAXTER
LICENSE No. 67547
STATE OF FLORIDA
PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
P.E. NO. 067547
DATE: November 12, 2020

POULOS & BENNETT

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2602 E. Livingston St., Orlando, FL 32803
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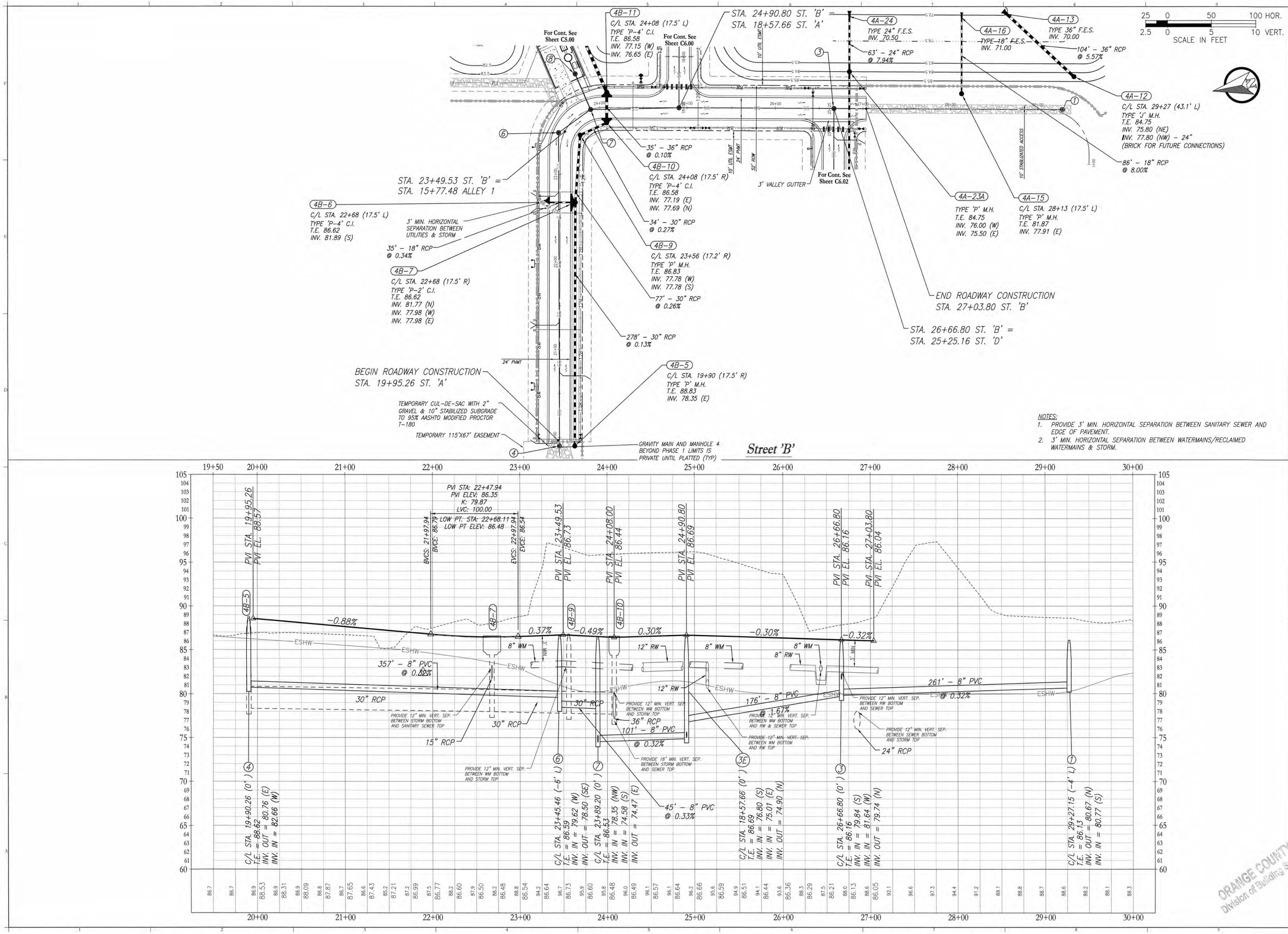

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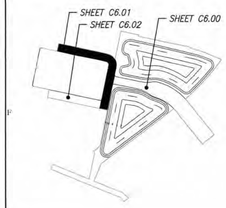

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SCALE IN FEET:	1" = 50'

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

PLAN & PROFILE

Sheet No.:

C6.01 △

Seal:

CHRISTINA M. BAXTER LICENSE No. 67547 STATE OF FLORIDA PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
P.E. NO. 067547

DATE: November 12, 2020

ORANGE COUNTY Division of Building Safety

POULOS & BENNETT

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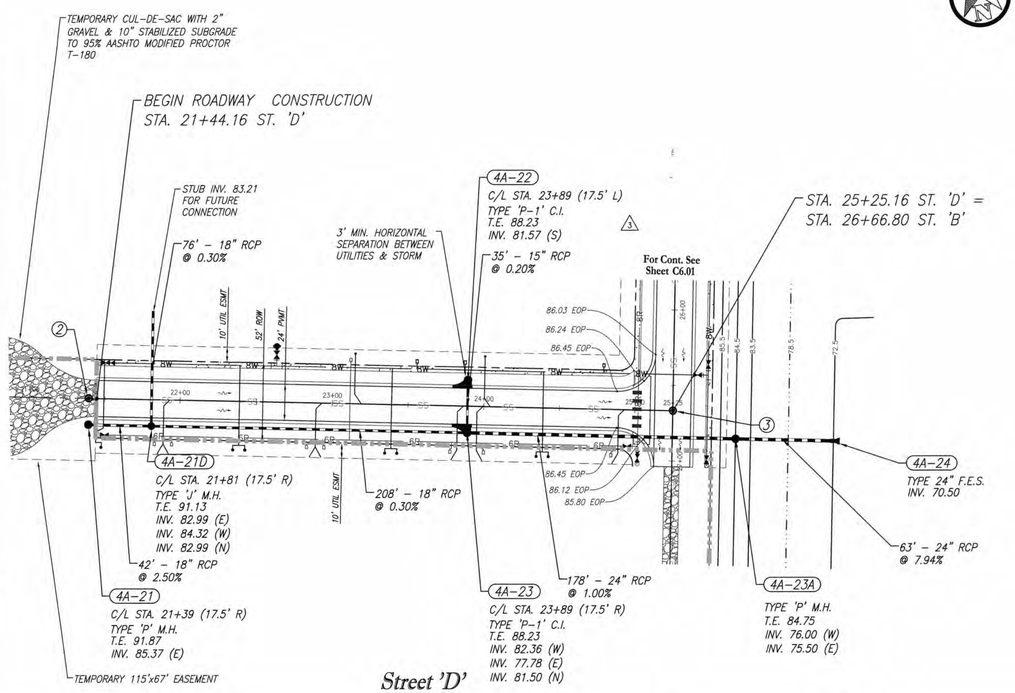
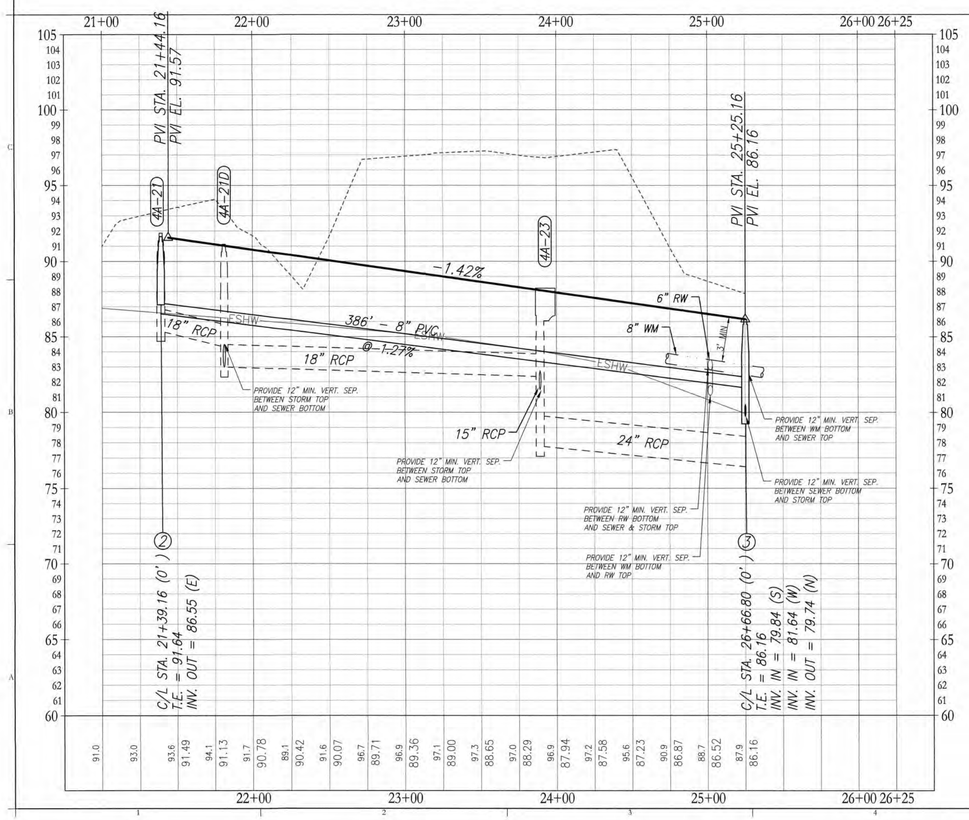
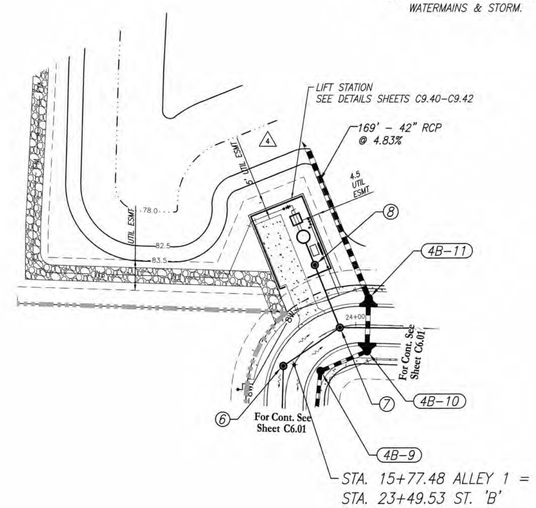
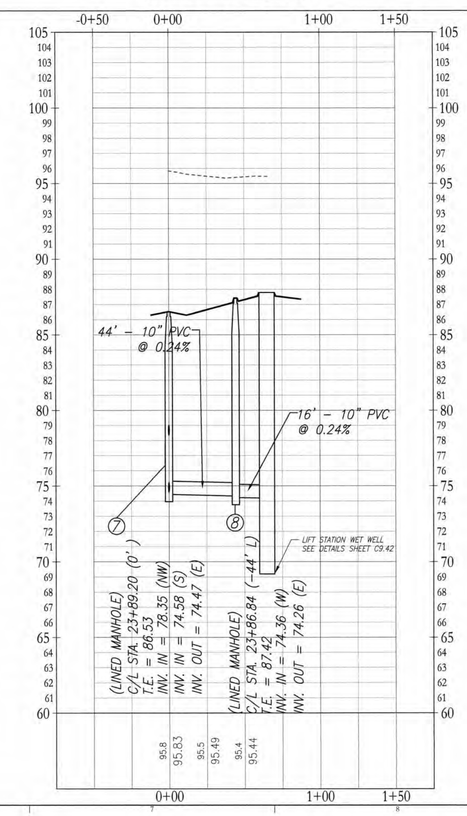


Street 'D'





LIFT STATION



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NOTES:
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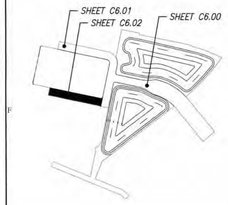
2. 3' MIN. HORIZONTAL SEPARATION BETWEEN WATERMAINS/RECLAIMED WATERMAINS & STORM.

Key Map:



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SUBMISSIONS/REVISIONS

VERTICAL DATUM:	NAVD 88
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SCALE IN FEET:	1" = 50'

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

PLAN & PROFILE

Sheet No.:

C6.02 △1

Seal:

CHRISTINA M. BAXTER LICENSE No. 67547 STATE OF FLORIDA PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER P.E. NO. 067547

DATE: November 12, 2020

POULOS & BENNETT

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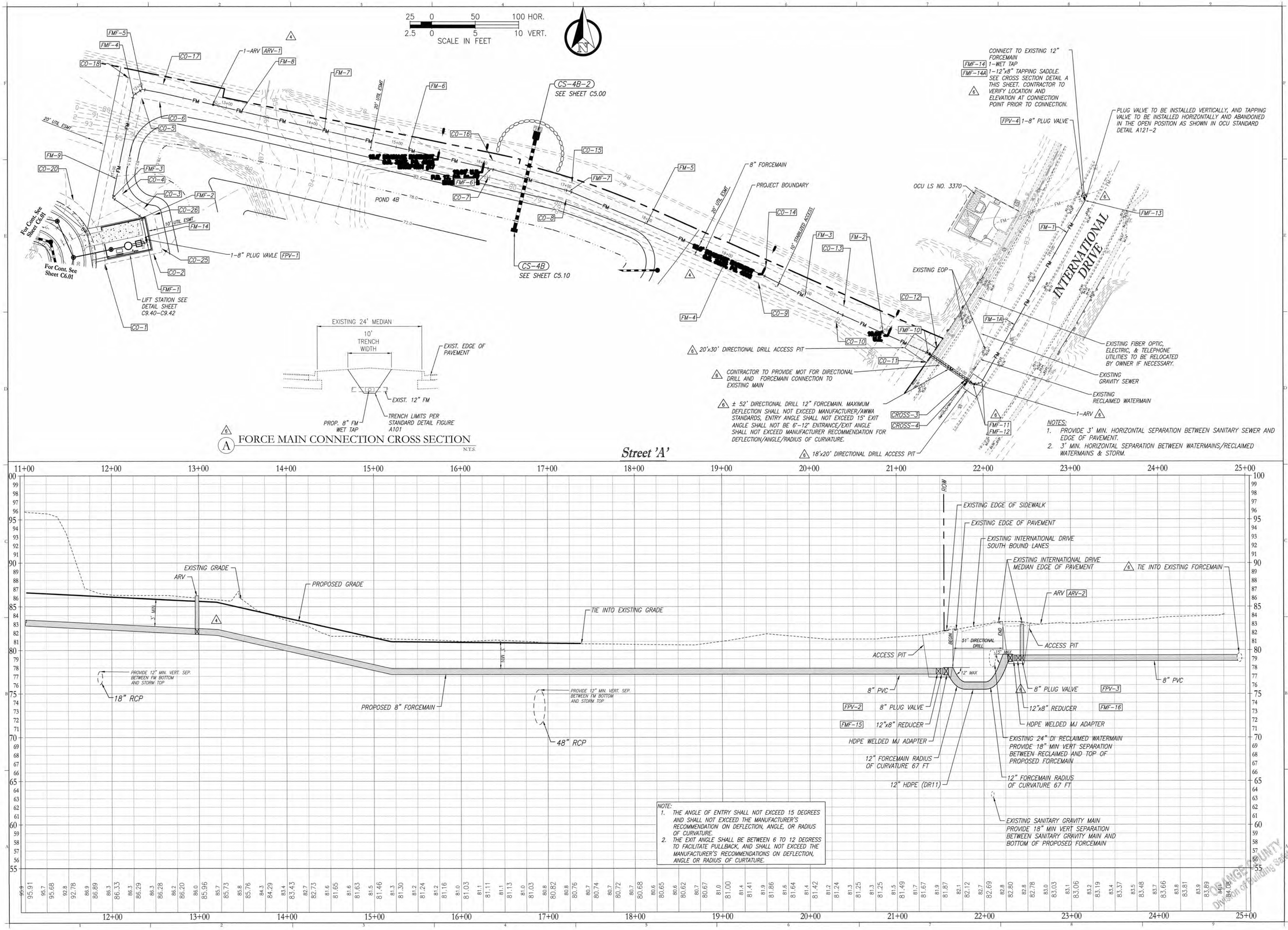

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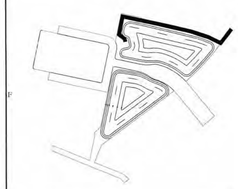

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SCALE IN FEET:	1" = 50'

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

PLAN & PROFILE

Sheet No.:

C6.03

Seal:

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ORANGE COUNTY Division of Building Safety

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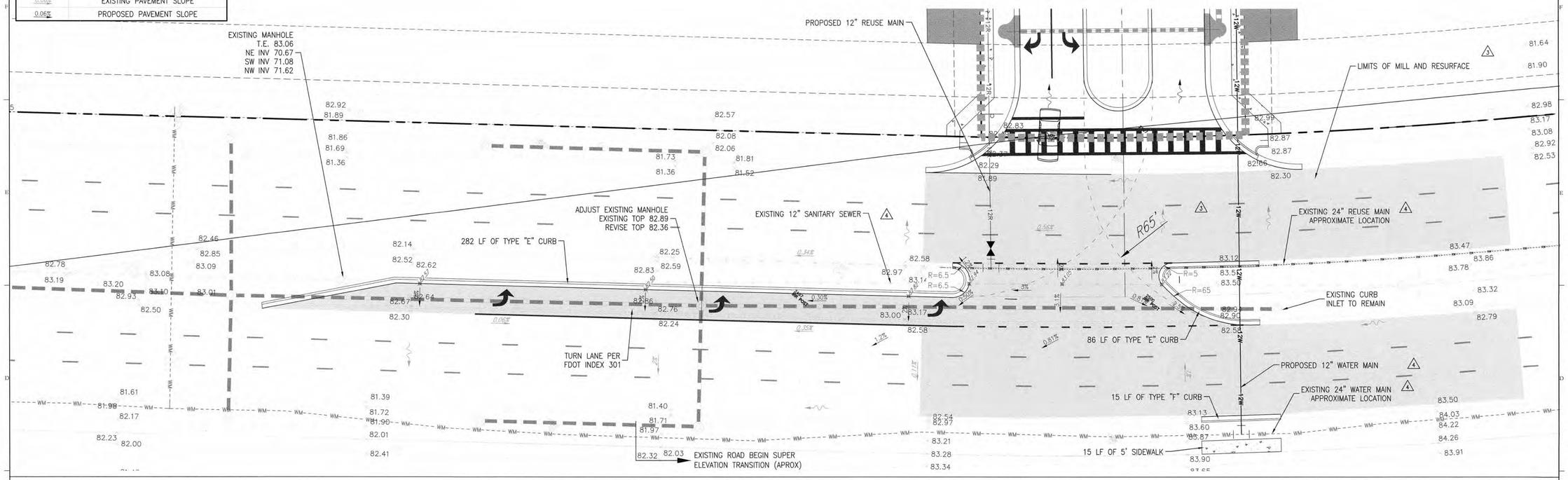
Grading Legend

Symbol	Description
×100.00	EXISTING SPOT GRADE
✱104.00	PROPOSED SPOT GRADE
	EXISTING FLOW ARROW
0.06%	EXISTING PAVEMENT SLOPE
0.06%	PROPOSED PAVEMENT SLOPE

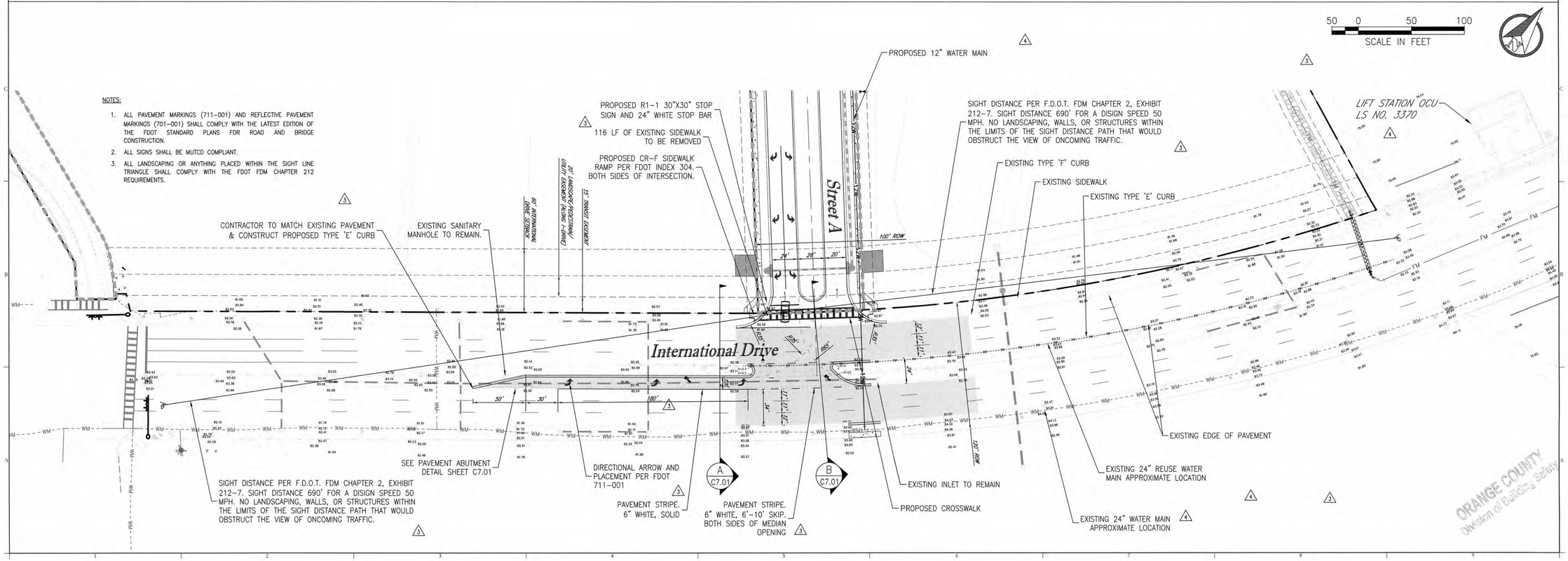
20' 0 20' 40'
SCALE IN FEET



50 0 50 100
SCALE IN FEET

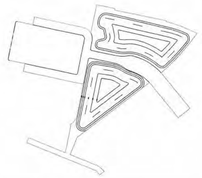
NOTES:

1. ALL PAVEMENT MARKINGS (711-001) AND REFLECTIVE PAVEMENT MARKINGS (701-001) SHALL COMPLY WITH THE LATEST EDITION OF THE FDOT STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION.
2. ALL SIGNS SHALL BE MUTCD COMPLIANT.
3. ALL LANDSCAPING OR ANYTHING PLACED WITHIN THE SIGHT LINE TRIANGLE SHALL COMPLY WITH THE FDOT FDM CHAPTER 212 REQUIREMENTS.



ORANGE COUNTY
Division of Building Safety

Key Map:



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SCALE IN FEET:	1" = 20'

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

OFFSITE IMPROVEMENT PLAN

Sheet No.:

C7.00

Seal:

CHRISTINA M. BAXTER
LICENSE
No. 67547
STATE OF FLORIDA
PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
P.E. NO. 0067547
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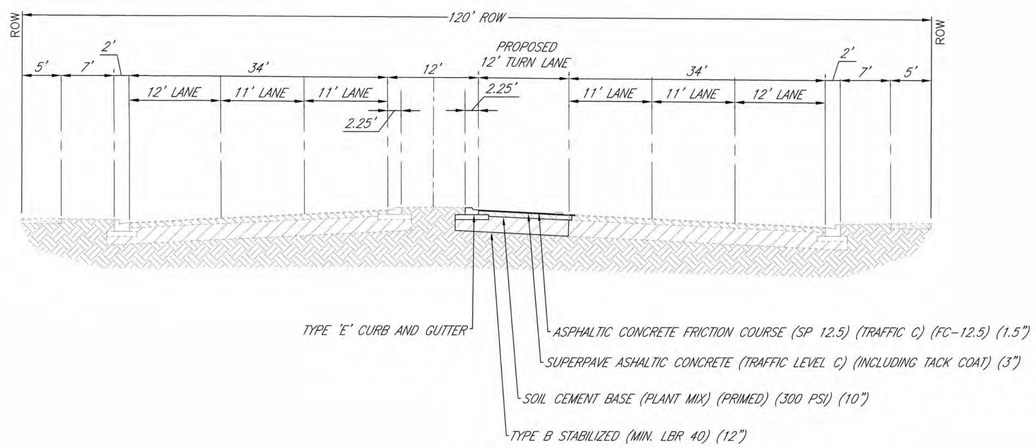
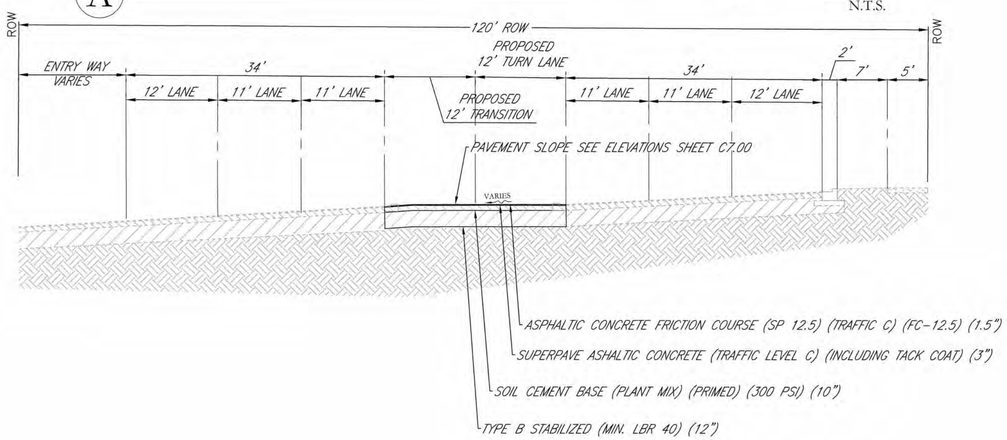


A TYPICAL TURN LANE ROAD SECTION (120' ROW)

N.T.S.



B TYPICAL ENTRANCE ROAD SECTION (120' ROW)

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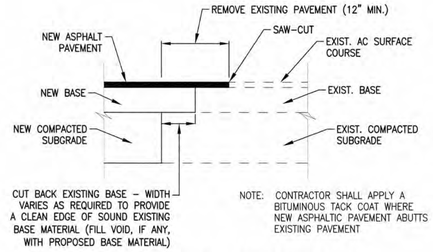
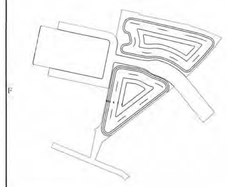


PAVEMENT ABUTMENT DETAIL

N.T.S.

Key Map:



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1	2/21/19	RESUBMIT TO VWCD
	12/20/18	SUBMIT TO ORANGE COUNTY

SUBMISSIONS/REVISIONS

VERTICAL DATUM:	NAVD 88
JOB NO.:	18-007
DESIGNED BY:	CB
DRAWN BY:	CB/CSL/JSK/TF
CHECKED BY:	CB/CMB
APPROVED BY:	CMB
SCALE IN FEET:	1" = 20'

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

OFFSITE IMPROVEMENT DETAILS

Sheet No.:

C7.01

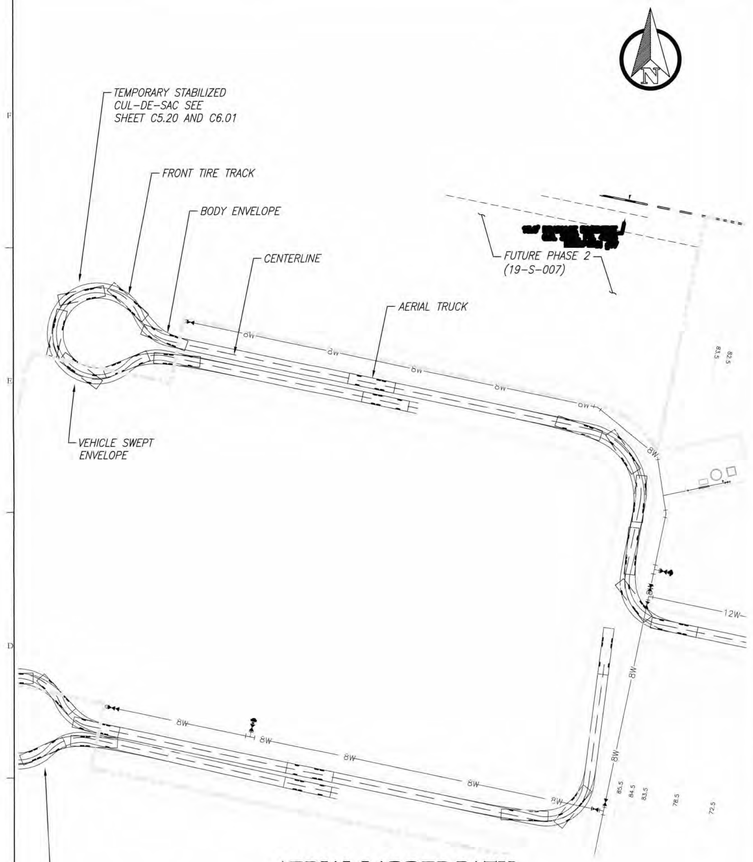
Seal:

CHRISTINA M. BAXTER LICENSE No. 67547 STATE OF FLORIDA PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
P.E. NO. 067547
DATE: November 12, 2020

POULOS & BENNETT

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.487.2594 www.poulosandbennett.com
Eng. Bus. No. 28567

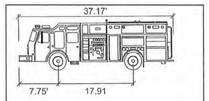


AERIAL LADDER PATH

1" = 60'

HP75 AERIAL LADDER TRUCK CRITERIA TURNING RADII IS BASED ON THE FOLLOWING APPARATUS DESIGN SPECIFICATIONS:

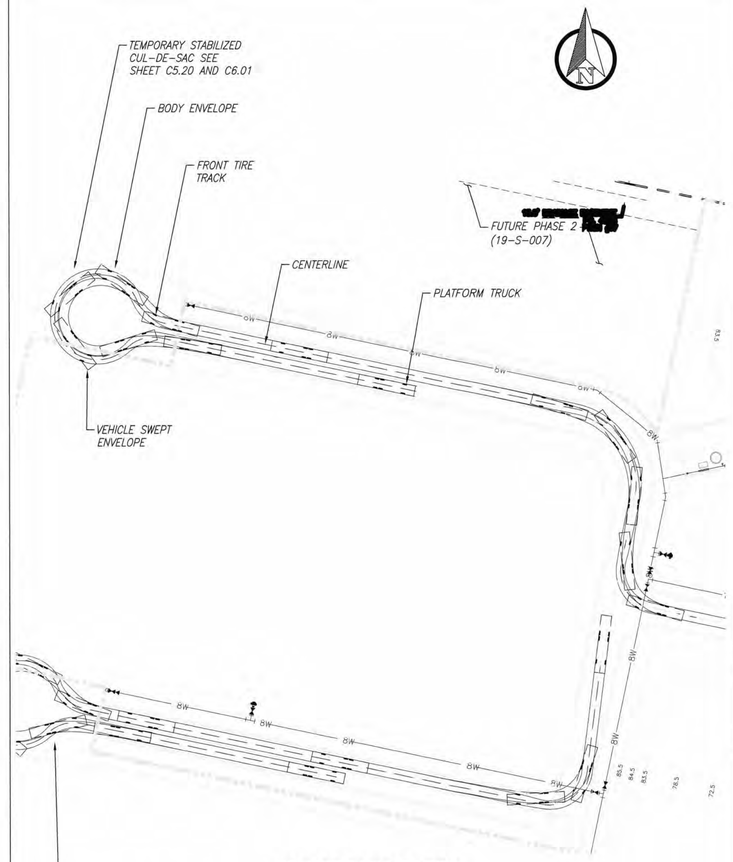
(1) FRONT OVERHANG-93"
(2) BODY WIDTH-100"
(3) TIRE TRACK WIDTH-100"
(4) WHEEL BASE-215"
(5) STEERING LOCK (CRAMP) ANGLE-31.8 DEGREES
(6) OVERALL LENGTH (BUMPER TO BUMPER)-446" (37.17 ft)



ORANGE COUNTY HP75 AERIAL LADDER

Width	: 8.33'
Track	: 8.33'
*Lock to Lock Time	: 6.0
*Steering Angle	: 31.8"
*Min. Centerline Radius	: 34.0'

*Modified SU AASHTO 2004 (US) North America

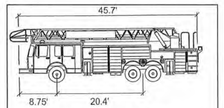


PLATFORM PATH

1" = 60'

95-PLATFORM TRUCK CRITERIA TURNING RADII IS BASED ON THE FOLLOWING APPARATUS DESIGN SPECIFICATIONS:

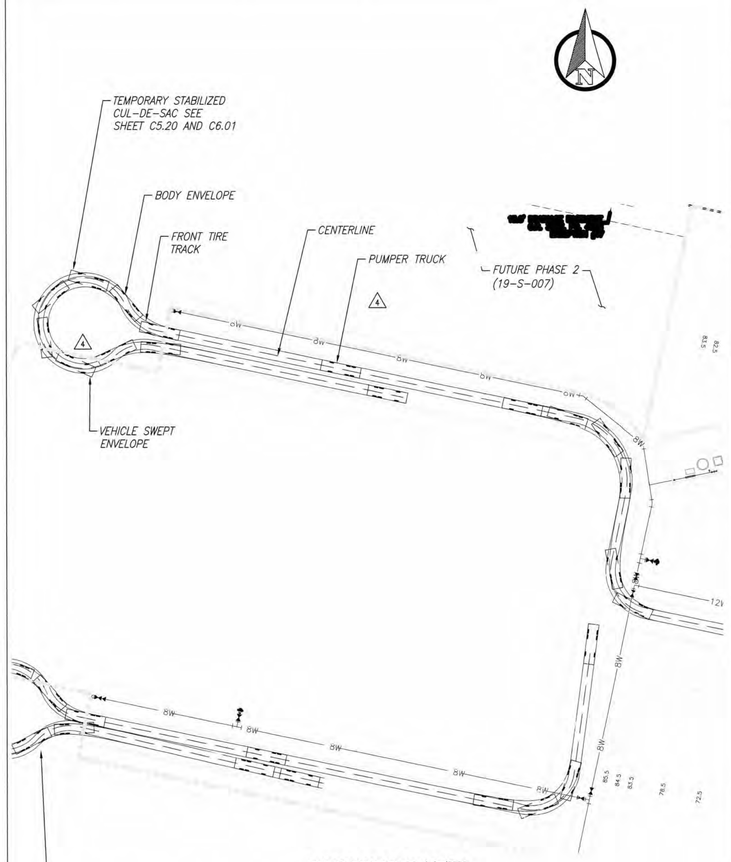
(1) FRONT OVERHANG-105"
(2) BODY WIDTH-100"
(3) TIRE TRACK WIDTH-100"
(4) WHEEL BASE-245"
(5) STEERING LOCK (CRAMP) ANGLE-44.2 DEGREES
(6) OVERALL LENGTH (BUMPER TO BUMPER)-548" (45.7 ft)



ORANGE COUNTY 95-PLATFORM

Width	: 8.33'
Track	: 8.33'
*Lock to Lock Time	: 6.0
*Steering Angle	: 44.2"
*Min. Centerline Radius	: 29'

*Modified L-WAGEN CROW 2004 (NL) Europe

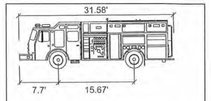


PUMPER PATH

1" = 60'

PUMPER #80323 TRUCK CRITERIA TURNING RADII IS BASED ON THE FOLLOWING APPARATUS DESIGN SPECIFICATIONS:

(1) FRONT OVERHANG-93"
(2) BODY WIDTH-100"
(3) TIRE TRACK WIDTH-100"
(4) WHEEL BASE-188"
(5) STEERING LOCK (CRAMP) ANGLE-31.8 DEGREES
(6) OVERALL LENGTH (BUMPER TO BUMPER)-379" (31.58 ft)



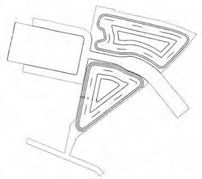
ORANGE COUNTY PUMPER #80323

Width	: 8.33'
Track	: 8.33'
*Lock to Lock Time	: 6.0
*Steering Angle	: 31.8"
*Min. Centerline Radius	: 30'

*Modified SU AASHTO 2004 (US) North America

ORANGE COUNTY
Division of Building Safety

Key Map:



Consultant:

NO.	DATE:	DESCRIPTIONS:
9	11/12/20	RESUBMIT TO ORANGE COUNTY
8	10/13/20	RESUBMIT TO ORANGE COUNTY
7	6/09/20	RESUBMIT (REVISED LAYOUT)
6	9/26/19	REVISE FORCEMAIN CONNECTION
5	8/30/19	RESUBMIT TO ORANGE COUNTY
4	8/8/19	RESUBMIT TO ORANGE COUNTY
	5/29/19	BID SET
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Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

FIRE PROTECTION PLAN

Sheet No.:

C8.00

Seal:

CHRISTINA M. BAXTER LICENSE No. 67547 STATE OF FLORIDA PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
P.E. NO. 067547
DATE November 12, 2020

POULOS & BENNETT

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.487.2594 www.poulosandbennett.com
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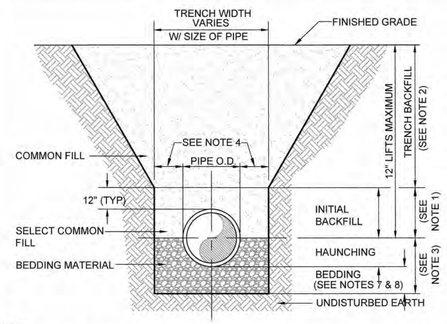
Z:\2018\18-007 PARK SQUARE - GRANDE PINES SFR\PHASE 1 - AMENITY\CAD\FINAL\COUNTY\18007-PH1-FRE

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | **STANDARD DRAWINGS** | **GENERAL**

DATE: February 11, 2011 | **BEDDING AND TRENCHING - TYPE A** | **FIGURE A101**

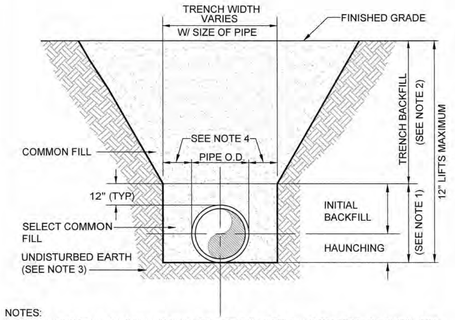


NOTES:
1. INITIAL BACKFILL: SELECT COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
3. TYPE A BEDDING MATERIAL SHALL CONFORM TO FDOT NO. 57 AGGREGATE.
4. 15" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX (12" MIN) FOR PIPE DIAMETER 24" AND LARGER.
5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
7. BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER UP TO 12" AND 6" MINIMUM FOR PIPE DIAMETER 16" AND LARGER.
8. DEPTH FOR REMOVAL OF UNSUITABLE MATERIAL SHALL GOVERN DEPTH OF BEDDING ROCK BELOW THE PIPE. UTILITIES SHALL DETERMINE IN THE FIELD REQUIRED REMOVAL OF UNSUITABLE MATERIAL TO REACH SUITABLE FOUNDATION.
9. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN ORANGE COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF R/W UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | **STANDARD DRAWINGS** | **GENERAL**

DATE: February 11, 2011 | **BEDDING AND TRENCHING - TYPE B** | **FIGURE A102**



NOTES:
1. INITIAL BACKFILL AND HAUNCHING: SELECT COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY UTILITIES.
4. 15" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX (12" MIN) FOR PIPE DIAMETER 24" AND LARGER.
5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
7. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN ORANGE COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | **STANDARD DRAWINGS** | **GENERAL**

DATE: February 11, 2011 | **RESTRAINED PIPE TABLE WATER AND RECLAIMED WATER MAINS** | **FIGURE A104-1**

MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)										
TYPE	PIPE SIZE									
	PVC					DIP				
	4"	6"	8"	10"	12"	16"	20"	24"	30"	36"
90° BEND	25	36	46	55	64	65	77	89	105	120
45° BEND	10	15	19	23	26	27	32	37	44	50
22-1/2° BEND	5	8	9	11	13	13	15	18	21	24
11-1/4° BEND	3	4	5	6	8	7	8	9	10	12
PLUG OR BRANCH OF TEE	53	74	97	117	135	138	166	194	231	265
VALVE	27	38	49	59	68	69	83	97	116	133
REDUCER	VARIES BY SIZE; TO BE DETERMINED BY THE DESIGN ENGINEER.									

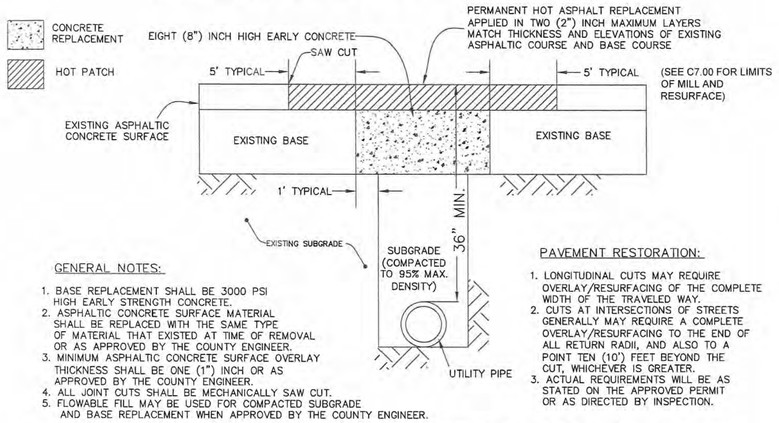
NOTES:
1. FITTINGS SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE INDICATED.
2. INSTALL FULL LENGTH JOINTS WITH TOTAL LENGTH EQUAL TO OR GREATER THAN LENGTH SHOWN IN THE TABLE.
3. WHERE TWO OR MORE FITTINGS ARE IN SERIES, SELECT FITTING RESTRAINT LENGTH THAT YIELDS THE LONGEST RESTRAINT DISTANCE.
4. ALL INLINE VALVES SHALL BE RESTRAINED.
5. WHERE INTERNAL RESTRAINED JOINTS ARE USED, THE ENTIRE BELL SHALL BE PAINTED RED.
6. LENGTHS SHOWN IN THE TABLE WERE CALCULATED IN ACCORDANCE WITH PROCEDURES OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" GUIDELINES PUBLISHED BY DIPRA, USING THE ASSUMPTIONS SHOWN BELOW:

WORKING PRESSURE: 150 PSI
SOIL DESIGNATION: SM (SAND SILT)
LAYING CONDITIONS: 3
DEPTH OF COVER: 3 FT
SAFETY FACTOR: 1.5
CONVERSION FACTOR FOR PVC PIPE: 1.25

THE DESIGN ENGINEER SHALL INCREASE THE VALUES IN THE TABLE AS WARRANTED BY SITE-SPECIFIC SOIL DESIGNATIONS, LAYING CONDITIONS, PIPE MATERIAL, ETC. FOR DIP ENCASED IN POLYETHYLENE, INCREASE THE GIVEN VALUE BY A FACTOR OF 1.25.

NOTE:

SUB-GRADE CUT TO BE COMPACTED TO 95% MAX. DENSITY AS DETERMINED BY AASHTO T – 180. CUT TO BE REPLACED WITH AN EIGHT (8") INCH 3000 PSI HIGH EARLY CONCRETE TO TOP OF EXISTING BASE. CUT AREA TO BE PLATED OR PROTECTED ON DAY OF POUR. EXISTING SURFACE TO BE SAW CUT TO AN AREA FIVE (5') FEET, BEYOND THE BASE CUT.



GENERAL NOTES:

1. BASE REPLACEMENT SHALL BE 3000 PSI HIGH EARLY STRENGTH CONCRETE.
2. ASPHALTIC CONCRETE SURFACE MATERIAL SHALL BE REPLACED WITH THE SAME TYPE OF MATERIAL THAT EXISTED AT TIME OF REMOVAL OR AS APPROVED BY THE COUNTY ENGINEER.
3. MINIMUM ASPHALTIC CONCRETE SURFACE OVERLAY THICKNESS SHALL BE ONE (1") INCH OR AS APPROVED BY THE COUNTY ENGINEER.
4. ALL JOINT CUTS SHALL BE MECHANICALLY SAW CUT.
5. FLOWABLE FILL MAY BE USED FOR COMPACTED SUBGRADE AND BASE REPLACEMENT WHEN APPROVED BY THE COUNTY ENGINEER.

PAVEMENT RESTORATION:

1. LONGITUDINAL CUTS MAY REQUIRE OVERLAY/RESURFACING OF THE COMPLETE WIDTH OF THE TRAVELED WAY.
2. CUTS AT INTERSECTIONS OF STREETS GENERALLY MAY REQUIRE A COMPLETE OVERLAY/RESURFACING TO THE END OF ALL RETURN RADII, AND ALSO TO A POINT TEN (10') FEET BEYOND THE CUT, WHICHEVER IS GREATER.
3. ACTUAL REQUIREMENTS WILL BE AS STATED ON THE APPROVED PERMIT OR AS DIRECTED BY INSPECTION.

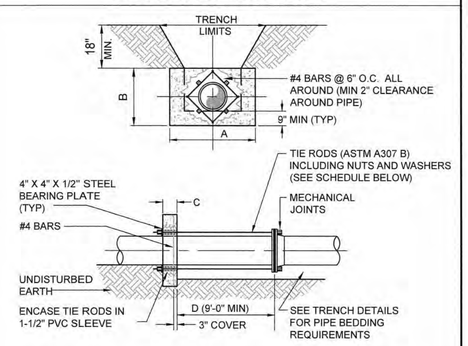
STANDARD ROADWAY OPENCUT CROSS SECTION DETAIL

FINAL RESTORATION – TYPICAL OF MAJOR OPEN CUTS

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | **STANDARD DRAWINGS** | **GENERAL**

DATE: February 11, 2011 | **THRUST COLLAR (150 psi) WATER AND RECLAIMED WATER MAINS** | **FIGURE A105-1**



NOTES:
1. ADDITIONAL REINFORCEMENTS SHALL BE AS SPECIFIED BY THE ENGINEER.
2. MINIMUM COMPRESSIVE STRENGTH FOR CONCRETE SHALL BE 3000 PSI.
3. BEDDING, BACKFILL AND COMPACTION SHALL BE AS SPECIFIED ELSEWHERE IN THE STANDARD DRAWINGS.
4. ALL FORM BOARDS SHALL BE REMOVED PRIOR TO BACKFILL.
5. NO ALLOWANCE SHALL BE MADE FOR FRICTION BETWEEN THE PIPE WALL AND THE THRUST COLLAR.
6. DESIGN PRESSURE: 150 PSI.
7. REQUIRED FOR LINE STOPS.

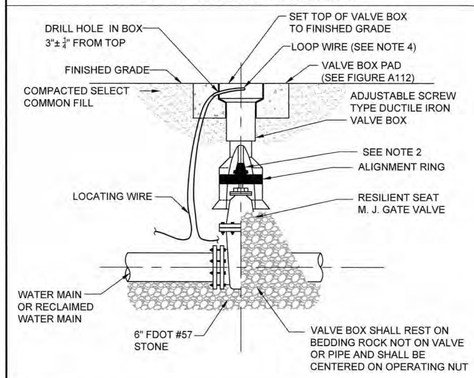
SCHEDULE OF DIMENSIONS AND MATERIALS						
PIPE SIZE (INCHES)	DIMENSIONS (FT.)				TIE RODS REQ'D	
	A	B	C	D	DIA.	NO.
6	2.0	2.0	1.0		3/4	2
8	2.5	2.5	1.0		3/4	2
10	3.5	3.0	1.0		3/4	4
12	5.0	3.0	1.0		3/4	4
16	6.0	4.0	1.5		3/4	4
20	8.0	5.0	1.5		3/4	6
24	9.0	6.0	1.5		3/4	8

NOTE: THRUST COLLAR AREAS TO BE COMPUTED ON BASIS OF 2000 LBS/SF SOIL RESTRAINT BEARING.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

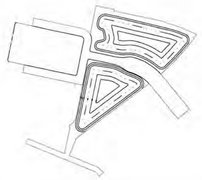
APPENDIX A | **STANDARD DRAWINGS** | **GENERAL**

DATE: February 11, 2011 | **GATE VALVE AND BOX WATER AND RECLAIMED WATER MAINS** | **FIGURE A107**



NOTES:
1. PVC PIPE OR DUCTILE IRON PIPE EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
2. THE VALVE ACTUATING NUT SHALL BE EXTENDED TO BE WITHIN 3' OF FINISHED GRADE.
3. PROVIDE A PLASTIC DEBRIS SHIELD / ALIGNMENT RING WHICH INSTALLS BELOW THE VALVE ACTUATING NUT. THIS SHIELD SHALL CENTER THE RISER PIPE BOX OVER THE ACTUATING NUT AND MINIMIZE INFILTRATION.
4. LOCATING WIRE SHALL BE CONTINUOUS WITH NO SPLICES AND SHALL EXTEND 12" ABOVE TOP OF COLLAR. WIRE SHALL BE COLOR CODED TO MATCH THE UTILITY INSTALLED.
5. FOR NEW CONSTRUCTION, THE VALVE BOX SHALL BE ADJUSTED TO MIDRANGE TO ALLOW FOR FUTURE BOX ADJUSTMENTS.
6. REFER TO FIGURE A111 FOR INSTALLATIONS AT A DEPTH OF 6' OR GREATER.

Key Map:



Consultant:

NO.	DATE:	DESCRIPTIONS:
9	11/12/20	RESUBMIT TO ORANGE COUNTY
8	10/13/20	RESUBMIT TO ORANGE COUNTY
7	6/09/20	RESUBMIT (REVISED LAYOUT)
6	9/26/19	REVISE FORCEMAIN CONNECTION
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4	8/8/19	RESUBMIT TO ORANGE COUNTY
	5/29/19	BID SET
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SCALE IN FEET:	N.T.S.

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

GENERAL CONSTRUCTION DETAILS

Sheet No.:

C9.10

Seal:

CHRISTINA M. BAXTER LICENSE No. 67547 STATE OF FLORIDA PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
P.E. NO. 067547
DATE: November 12, 2020

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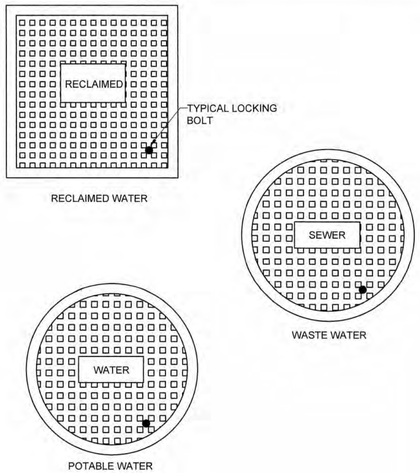
Z:\2018\18-007 PARK SQUARE - GRANDE PINES SFR\PHASE 1 - AMENITY\CAD\FINAL\COUNTY\18007-PH1-CDTLS

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 | **TYPICAL VALVE BOX COVER** | FIGURE A110

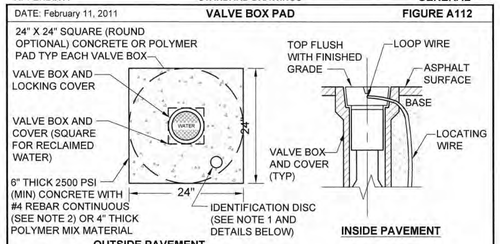


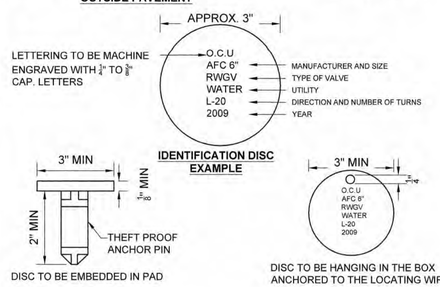
NOTE:
1. LOCKING LIDS ARE REQUIRED ON ALL VALVE BOXES.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 | **VALVE BOX PAD** | FIGURE A112



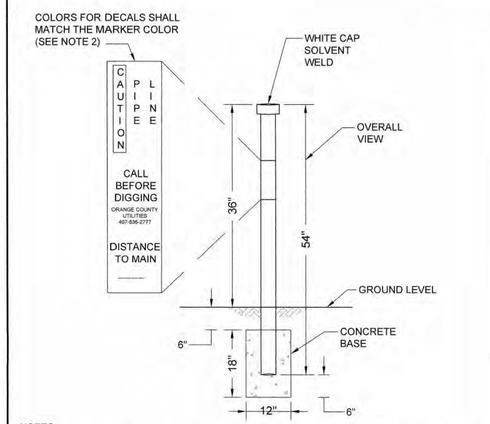


NOTES:
1. BRONZE (OR STAINLESS STEEL) IDENTIFICATION DISC SHALL BE REQUIRED FOR ALL VALVES, EXCEPT HYDRANT VALVES.
2. IN LIEU OF PRECAST CONCRETE PAD, A 6" THICK X 24" (ROUND OR SQUARE) POURED CONCRETE PAD WITH TWO #4 REBAR AROUND PERIMETER MAY BE USED.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 | **UTILITY MAIN MARKER** | FIGURE A113

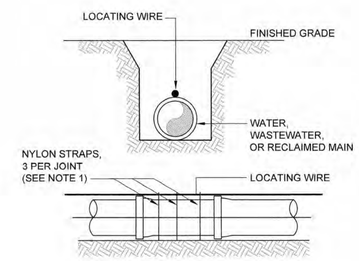


NOTES:
1. MARKERS ARE REQUIRED WHEN UTILITY MAIN IS LOCATED OVER 30 FEET FROM EDGE OF PAVEMENT OR IN AN EASEMENT NOT ADJACENT TO THE RIGHT OF WAY.
2. MARKERS SHALL BE 4" DIAMETER SCH. 80 OR DR18 PVC; BLUE FOR WATER; GREEN FOR WASTEWATER; AND PANTONE PURPLE 522C FOR RECLAIMED WATER.
3. MARKERS SHALL BE PLACED AT ALL DIRECTIONAL CHANGES AND AT ALL VALVES EXCEPT WATER VALVES NEAR FIRE HYDRANTS. ADDITIONAL MARKERS SHALL BE INSTALLED AS NEEDED SO THAT THE DISTANCE BETWEEN MARKERS DOES NOT EXCEED 1000 FEET.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 | **PIPE LOCATING WIRE** | FIGURE A114



NOTES:
1. ALL PIPE SHALL REQUIRE INSULATED LOCATING WIRE (10 GAUGE SOLID COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE WRAPPED WITH NYLON STRAPS TO TOP CENTERLINE OF THE PIPE.
2. LOCATING WIRE SHALL BE CONTINUOUS INSIDE VALVE BOXES AND SHALL EXTEND 12" ABOVE TOP OF COLLAR.
3. WIRE INSULATION SHALL BE COLOR CODED FOR THE TYPE OF PIPE BEING INSTALLED.

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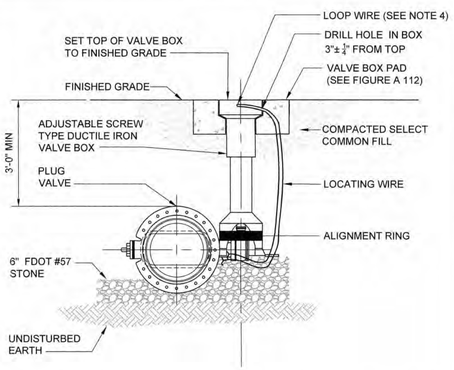
APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 | **PLUG VALVE AND BOX WASTEWATER** | FIGURE A109



NOTES:
1. PVC PIPE OR DUCTILE IRON PIPE EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
2. THE VALVE ACTUATING NUT SHALL BE EXTENDED TO BE WITHIN 3' OF FINISHED GRADE.
3. PROVIDE A PLASTIC DEBRIS SHIELD / ALIGNMENT RING WHICH INSTALLS BELOW THE VALVE ACTUATING NUT. THIS SHIELD SHALL CENTER THE RISER PIPE BOX OVER THE ACTUATING NUT AND MINIMIZE INFILTRATION.
4. LOCATING WIRE SHALL BE CONTINUOUS WITH NO SPLICES AND SHALL EXTEND 12" ABOVE TOP OF COLLAR. WIRE SHALL BE COLOR CODED TO MATCH THE UTILITY INSTALLED.
5. FOR NEW CONSTRUCTION, THE VALVE BOX SHALL BE ADJUSTED TO MIDRANGE TO ALLOW FOR FUTURE BOX ADJUSTMENTS.
6. REFER TO FIGURE A111 FOR INSTALLATIONS AT A DEPTH OF 6' OR GREATER.

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DATE: February 11, 2011 | **SEPARATION REQUIREMENTS FOR WATER, WASTEWATER AND RECLAIMED WATER MAINS** | FIGURE A116

HORIZONTAL & VERTICAL SEPARATION REQUIREMENTS									
PROPOSED UTILITY	POTABLE WATER		RECLAIMED WATER		WASTEWATER (GRAVITY & FM)		STORM SEWER		
	HORIZ	VERT	HORIZ	VERT	HORIZ	VERT	HORIZ	VERT	
POTABLE WATER	3' NOTE 1	12"	3' NOTE 1 & 3	12" NOTE 3	6' NOTE 3	12" NOTE 3	3' NOTE 1 & 3	12"/18" NOTE 2 & 3	
RECLAIMED WATER	3' NOTE 1 & 3	12" NOTE 3	3' NOTE 1	12"	3' NOTE 1	12"	3' NOTE 1	12"/18" NOTE 2	
WASTEWATER (GRAVITY AND FM)	6' NOTE 3	12" NOTE 3	3' NOTE 1	12"	3' NOTE 1	12"	3' NOTE 1	12"/18" NOTE 2	
RIGHT OF WAY	3' NOTE 1	N/A	3' NOTE 1	N/A	3' NOTE 1	N/A	N/A	N/A	

NOTES:
1. THIS SEPARATION REQUIREMENT IS TO PROVIDE ACCESSIBILITY FOR CONSTRUCTION AND MAINTENANCE. THREE FEET OF HORIZONTAL SEPARATION IS THE MINIMUM FOR PIPES WITH THREE FEET OF COVER. FOR PIPES INSTALLED AT GREATER DEPTHS, PROVIDE AN ADDITIONAL FOOT OF SEPARATION FOR EACH ADDITIONAL FOOT OF DEPTH.
2. THE 18-INCH SEPARATION REQUIREMENT APPLIES WHEN THE STORM PIPE CROSSES ABOVE THE OCU MAIN, AND WHEN THE STORM PIPE HAS A DIAMETER EQUAL TO OR GREATER THAN 24 INCHES. OTHERWISE, THE REQUIRED SEPARATION IS 12 INCHES.
3. THIS SEPARATION REQUIREMENT COMPLIES WITH MINIMUM FDEP SEPARATION REQUIREMENTS OUTLINED IN 62-555.314, FAC. VARIANCES FROM THE FDEP REQUIREMENTS MUST COMPLY WITH 62-555.314(5), FAC AND MUST BE APPROVED INDIVIDUALLY BY BOTH FDEP AND OCU.
4. DISTANCES GIVEN ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE.
5. NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF SANITARY OR STORM WATER MANHOLE OR STRUCTURE.

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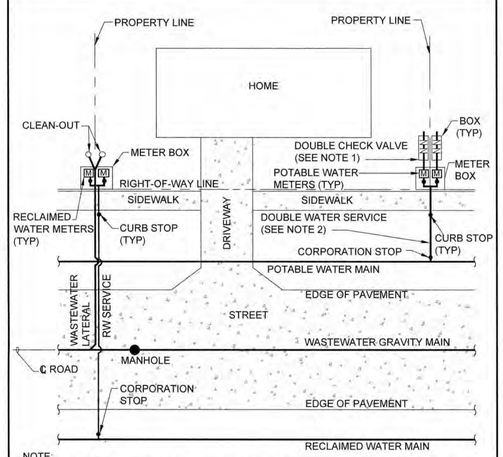
APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 | **RESIDENTIAL SERVICE LOCATIONS (TYPICAL)** | FIGURE A118



NOTE:
1. EACH POTABLE WATER SERVICE WILL SERVE TWO LOTS IF RECLAIMED WATER IS AVAILABLE. EACH SERVICE MUST BE EQUIPPED WITH A DOUBLE CHECK BACKFLOW PREVENTER.
2. EACH POTABLE WATER SERVICE WILL SERVE ONE LOT IF RECLAIMED WATER IS UNAVAILABLE. BACKFLOW PREVENTERS ARE NOT REQUIRED.
3. SITEWORK CONTRACTOR TO INSTALL WATER AND RECLAIMED WATER SERVICES PER DETAIL A120 AND WASTEWATER LATERALS PER DETAIL A305.
4. METER AND BOX TO BE INSTALLED BY OCU AND DOUBLE CHECK BACKFLOW PREVENTOR TO BE INSTALLED BY BUILDING PLUMBING CONTRACTOR.
5. WASTEWATER LATERAL CLEAN-OUTS TO BE INSTALLED BY BUILDING PLUMBING CONTRACTOR.

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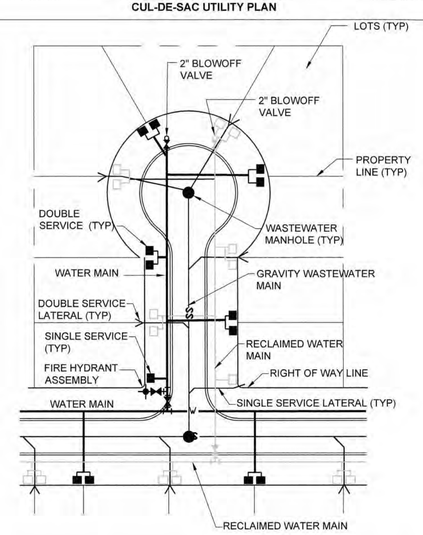
DATE: February 11, 2011 | **SINGLE FAMILY RESIDENTIAL CUL-DE-SAC UTILITY PLAN** | FIGURE A119



NOTE:
1. A MAXIMUM OF TWO WASTEWATER SERVICE LATERALS MAY CONNECT DIRECTLY TO A TERMINAL MANHOLE.

ORANGE COUNTY
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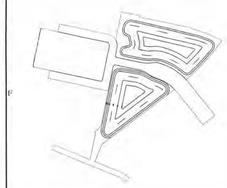
Key Map:



Consultant:

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Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

GENERAL CONSTRUCTION DETAILS

Sheet No.:

C9.11

Seal:

CHRISTINA M. BAXTER LICENSE No. 67547 STATE OF FLORIDA PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
P.E. NO. 067547
DATE November 12, 2020

POULOS & BENNETT

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ORANGE COUNTY UTILITIES
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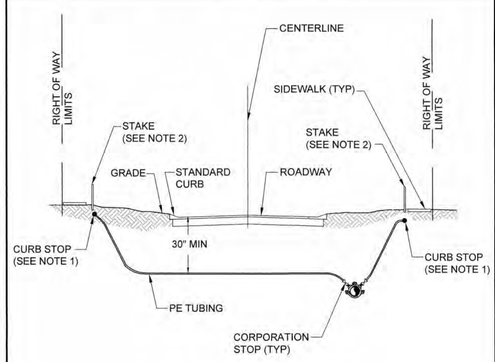
DATE: February 11, 2011 **WATER AND RECLAIMED WATER SERVICES (TYPICAL)** **FIGURE A120**



NOTES:
1. CURB STOP SHALL BE INSTALLED ON STREET SIDE OF THE SIDEWALK BETWEEN SIDEWALK AND CURB.
2. CONTRACTOR TO LOCATE CURB STOP BY PLACING A 2" X 2" SQUARE STAKE RISING 24" ABOVE THE GROUND. TOP OF STAKE SHALL BE PAINTED THE COLOR OF THE UTILITY SERVICE AND LABELED WITH THE LOT NUMBER(S) IT SERVES.

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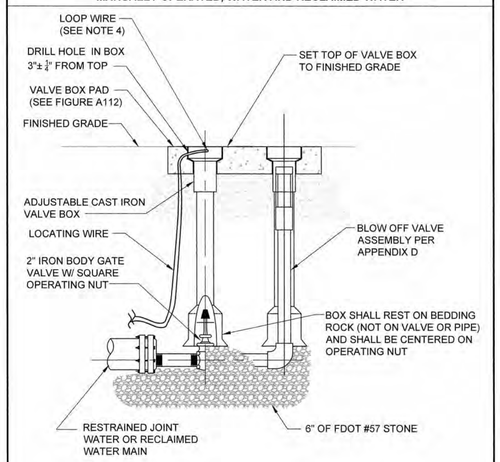
DATE: February 11, 2011 **PERMANENT BLOW OFF VALVE, MANUALLY OPERATED, WATER AND RECLAIMED WATER** **FIGURE A122-1**



NOTES:
1. INSTALL MANUFACTURED BLOW OFF BOXES AS DEPICTED IN APPENDIX D. BRING VALVE BOX TO GRADE AND INSTALL CONCRETE COLLAR.
2. FOR USE AT PERMANENT WATER AND RECLAIMED WATER DEAD-ENDS, SUCH AS CUL-DE-SACS.
3. LOCATING WIRE SHALL BE CONTINUOUS INSIDE THE VALVE BOX AND SHALL EXTEND 12" ABOVE TOP OF COLLAR. WIRE SHALL BE COLOR CODED TO MATCH THE UTILITY INSTALLED.

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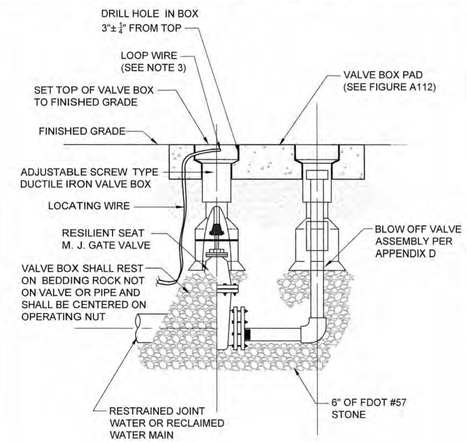
APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 **TEMPORARY BLOW OFF VALVE, MANUALLY OPERATED, WATER AND RECLAIMED WATER** **FIGURE A122-2**



NOTES:
1. FOR USE AT PHASE LINES OR TEMPORARY TERMINATION POINTS.
2. LOCATING WIRE SHALL BE CONTINUOUS INSIDE THE VALVE BOX AND SHALL EXTEND 12" ABOVE TOP OF COLLAR. WIRE SHALL BE COLOR CODED TO MATCH THE UTILITY INSTALLED.

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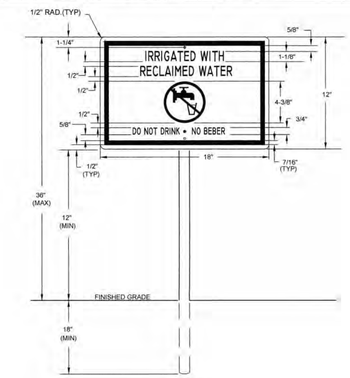
DATE: February 11, 2011 **RECLAIMED WATER SIGNAGE "DO NOT DRINK WATER"** **FIGURE A501**



NOTES:
1. SIGN TO BE PROVIDED BY OCU.
2. HEIGHT OF SIGN WILL DEPEND ON LOCATION AND SURROUNDING LANDSCAPE PLANT TYPES. IN ALL CASES, THE SIGN SHALL BE VISIBLE TO THE PUBLIC.
3. BACKGROUND SHALL BE WHITE, LETTERS SHALL BE BLACK (HELVETICA, SWISS 721 COREL OR ACCEPTABLE EQUAL) AND BORDER SHALL BE PANTONE PURPLE 522C.
4. ENGINEERING GRADE REFLECTIVE MATERIALS SHALL BE USED.
5. SIGN MATERIAL SHALL BE OF 0.040 GAUGE METAL.
6. POST SHALL BE 2-3/8" OD ALUMINUM PIPE, HOT DIP GALVANIZED PER ASTM A-123. POST TO BE PROVIDED BY CUSTOMER.
7. MOUNTING HARDWARE SHALL BE STAINLESS STEEL.
8. SIGNS SHALL BE PLACED BY THE CONTRACTOR IN ACCORDANCE WITH CHAPTER 62-610 "ACCESS CONTROL AND ADVISORY SIGNS", FAC, THE COUNTY APPROVED ENGINEERING PLANS AND/OR AS APPROVED BY THE UTILITIES.

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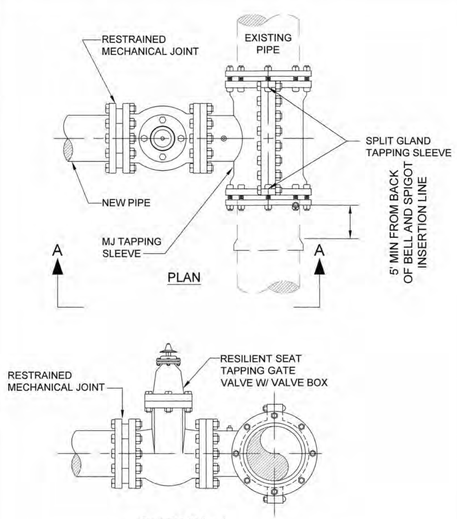
DATE: February 11, 2011 **MJ TAPPING SLEEVE AND GATE VALVE ASSEMBLY FOR WATER AND RECLAIMED WATER** **FIGURE A121-1**



ORANGE COUNTY UTILITIES
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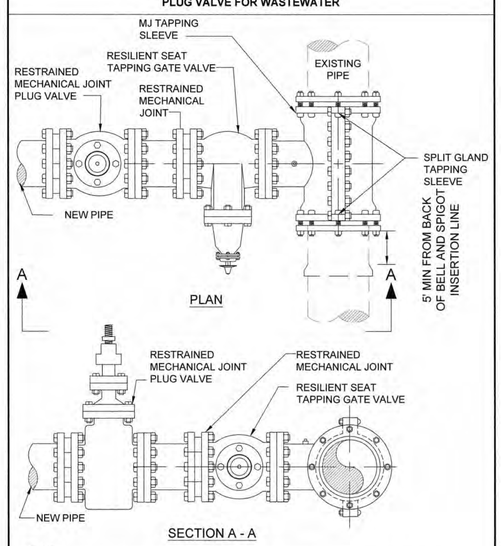
DATE: February 11, 2011 **MJ TAPPING SLEEVE AND GATE VALVE WITH PLUG VALVE FOR WASTEWATER** **FIGURE A121-2**



NOTES:
1. PLUG VALVES GREATER THAN 4" SHALL BE GEAR ACTUATED.
2. PLUG VALVE TO BE INSTALLED VERTICALLY, AND TAPPING GATE VALVE TO BE INSTALLED HORIZONTALLY AND ABANDONED IN THE OPEN POSITION.

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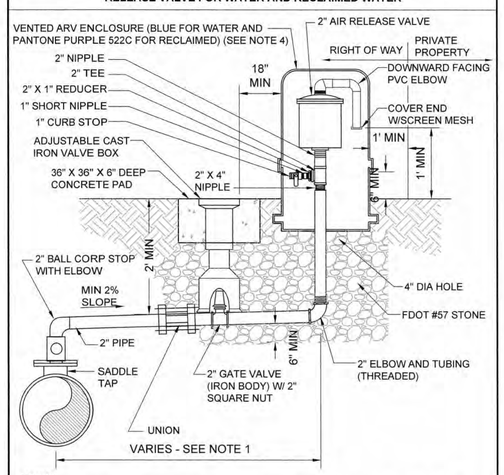
REV: APRIL 25, 2011 **AIR OR COMBINATION AIR/VACUUM RELEASE VALVE FOR WATER AND RECLAIMED WATER** **FIGURE A115-1**



NOTES:
1. OFFSET DISTANCE TO BE FIELD DETERMINED AND AS CLOSE TO THE RIGHT OF WAY AS POSSIBLE AND CLEAR OF PEDESTRIAN WALKWAYS. IF PIPE AT RIGHT OF WAY LINE, NO OFFSET REQUIRED.
2. ABOVE DETAIL APPLIES TO A 2" ARV. FOR LARGER ARVS, PIPE DIAMETER SHALL BE EQUAL TO THE SIZE OF THE ARV .
3. ALL PIPING, VALVES, AND APPURTENANCES TO BE BRASS OR 316 S.S. EXCEPT WHERE SPECIFIED OTHERWISE.
4. THE ENCLOSURE VENTS MUST BE CAPABLE OF ALLOWING AT LEAST THE SAME AMOUNT OF AIRFLOW AS THE VALVE.

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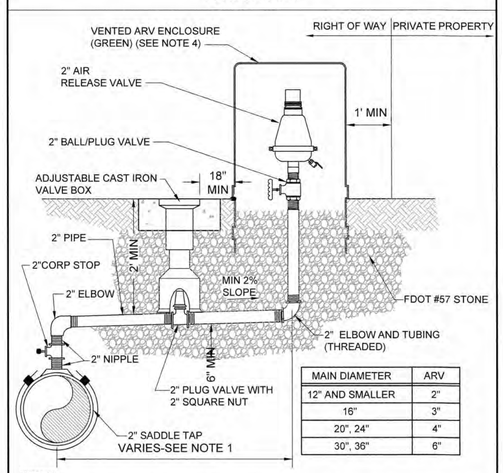
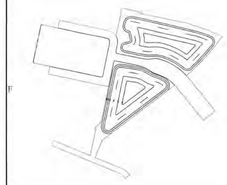
REV: APRIL 25, 2011 **COMBINATION AIR RELEASE VALVE FOR WASTEWATER** **FIGURE A115-2**



MAIN DIAMETER	ARV
12" AND SMALLER	2"
16"	3"
20", 24"	4"
30", 36"	6"

NOTES:
1. OFFSET DISTANCE TO BE FIELD DETERMINED AND AS CLOSE TO THE RIGHT OF WAY AS POSSIBLE AND CLEAR OF PEDESTRIAN WALKWAYS. IF PIPE IS AT RIGHT OF WAY LINE, NO OFFSET IS REQUIRED.
2. ABOVE DETAIL APPLIES TO A 2" ARV. FOR LARGER ARVS, PIPE DIAMETER AND VALVES SHALL BE EQUAL TO THE SIZE OF THE ARV.
3. ALL PIPING, VALVES AND APPURTENANCES TO BE BRASS OR 316 S.S. EXCEPT WHERE SPECIFIED OTHERWISE.
4. THE ENCLOSURE VENTS MUST BE CAPABLE OF ALLOWING AT LEAST THE SAME AMOUNT OF AIRFLOW AS THE VALVE.

Key Map:



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SCALE IN FEET:	N.T.S.

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

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ORANGE COUNTY, FL

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GENERAL CONSTRUCTION DETAILS

Sheet No.:

C9.12

Seal:

CHRISTINA M. BAXTER
LICENSE No. 67547
STATE OF FLORIDA
PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
P.E. NO. 067547
DATE November 12, 2020

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ORANGE COUNTY UTILITIES
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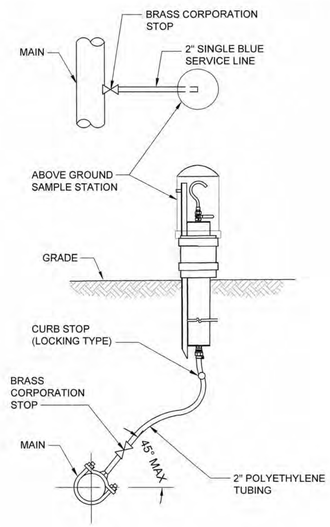
APPENDIX A	STANDARD DRAWINGS	GENERAL
DATE: February 11, 2011	**WATER SAMPLE STATION**	**FIGURE A201**



NOTES:
1. A 2 INCH SAMPLE STATION INSTALLED AT THE END OF A CUL-DE-SAC CAN ALSO SERVE AS A BLOW -OFF VALVE WHEN BOTH ARE REQUIRED.

ORANGE COUNTY UTILITIES
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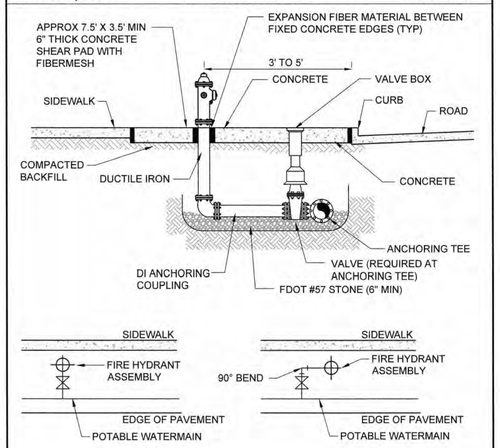
APPENDIX A	STANDARD DRAWINGS	GENERAL
DATE: February 11, 2011	**FIRE HYDRANT ASSEMBLY**	**FIGURE A203**



STANDARD CONFIGURATION

ALTERNATE CONFIGURATION

NOTES:

1. CENTER OF THE FLANGE CONNECTION SHALL BE 5" FROM THE TOP OF THE SLAB.
2. BARREL COLORS: PRIVATE HYDRANTS - RED; PUBLIC HYDRANTS - SILVER.
3. BONNET COLORS: TO BE DETERMINED BY FLOW TEST.

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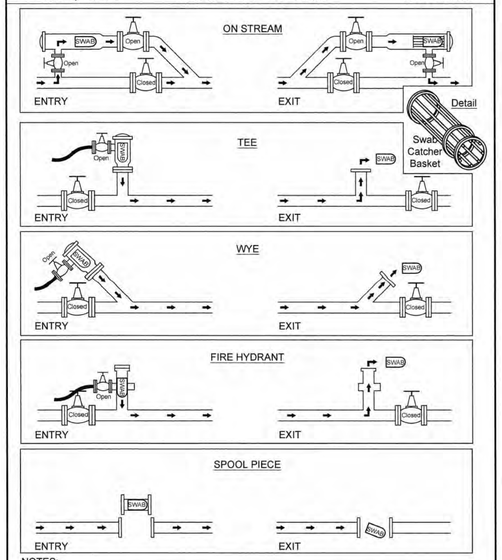
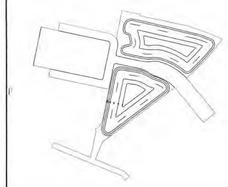
APPENDIX A	STANDARD DRAWINGS	GENERAL
DATE: February 11, 2011	**SWABBING ACCESS POINTS**	**FIGURE A205**



NOTES:
1. FOAM SWAB.
2. SUGGESTED FOR WATER AND RECLAIMED WATER MAINS OF ALL SIZES. REQUIRED FOR WATER AND RECLAIMED WATER MAINS 16" DIAMETER AND GREATER.

ORANGE COUNTY
Division of Building Safety

Key Map:



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Sheet No.:

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PROFESSIONAL ENGINEER

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ORANGE COUNTY UTILITIES
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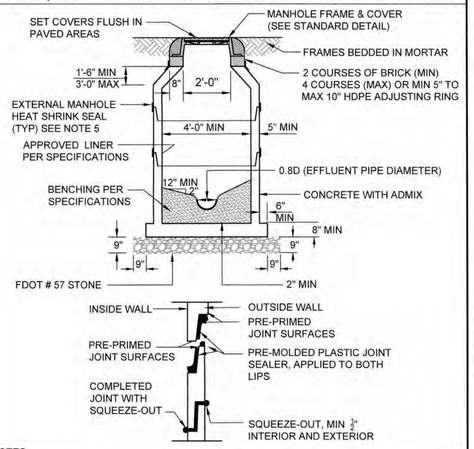
APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 | **PRECAST CONCRETE MANHOLE** | FIGURE A301



NOTES:
1. DROP CONNECTIONS ARE REQUIRED WHENEVER INVERT OF INFLUENT SEWER IS 24" OR MORE ABOVE THE INVERT OF THE MANHOLE. SEE MANHOLE CONNECTION DETAIL.
2. ECCENTRIC CONE DESIGN MAY BE USED FOR CONFLICT RESOLUTION WITH OCU APPROVAL.
3. A FLOW CHANNEL SHALL BE CONSTRUCTED INSIDE MANHOLE TO DIRECT INFLUENT INTO FLOW STREAM.
4. LIFT HOLES THROUGH STRUCTURE ARE NOT PERMITTED.
5. WRAP TIGHTLY AROUND CASTING JOINTS AND APPLY HIGH INTENSITY PROPANE TORCH TO EFFECTIVELY SEAL THEM FROM GROUND WATER INFILTRATION.
6. HDPE ADJUSTING RINGS MAY BE SUBSTITUTED FOR BRICK RISERS.
7. SECTION HEIGHTS VARY AS REQUIRED, AND AS AVAILABLE, FROM APPROVED MANUFACTURERS LISTED IN APPENDIX D.

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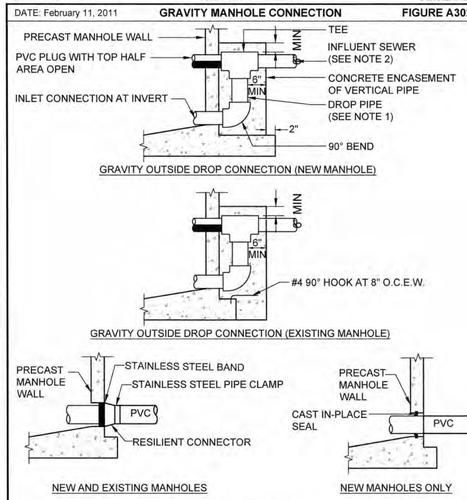
APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 | **GRAVITY MANHOLE CONNECTION** | FIGURE A302

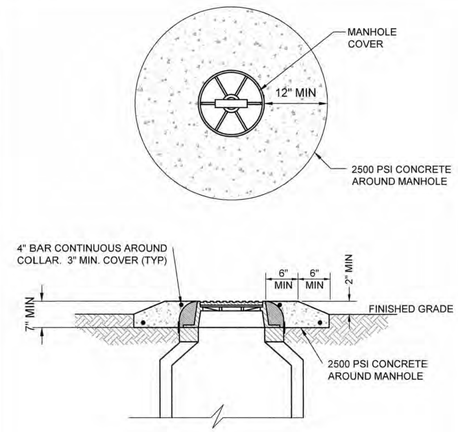


NOTES:
1. DROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIAL AS THE INFLUENT SEWER.
2. AN OUTSIDE DROP CONNECTION SHALL BE REQUIRED FOR ALL INFLUENT LINES WHICH HAVE AN INVERT 2' OR MORE ABOVE THE MANHOLE INVERT.
3. CONTRACTOR TO COORDINATE THE PRESENCE OF UTILITIES INSPECTOR DURING CORING AND CONNECTIONS TO EXISTING MANHOLES.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 | **MANHOLE IN GRASS AREA** | FIGURE A303

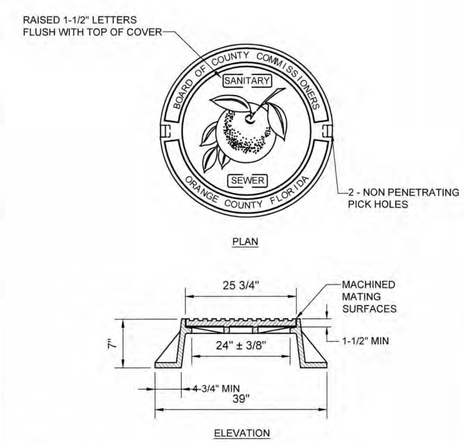


NOTES:
1. CLEARANCE OF 30" FREE FROM OBSTRUCTIONS IN ALL DIRECTIONS.
2. AREAS SUPPORTING CONCRETE COLLAR OR SLAB SHALL BE PROPERLY COMPACTED.
3. TOP OF MANHOLE SHALL BE 2" ABOVE FINISHED GRADE, CROWN OF ADJACENT ROADWAY, OR 100 YEAR FLOOD ELEVATION, WHICHEVER IS GREATER.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 | **STANDARD MANHOLE FRAME AND COVER** | FIGURE A304

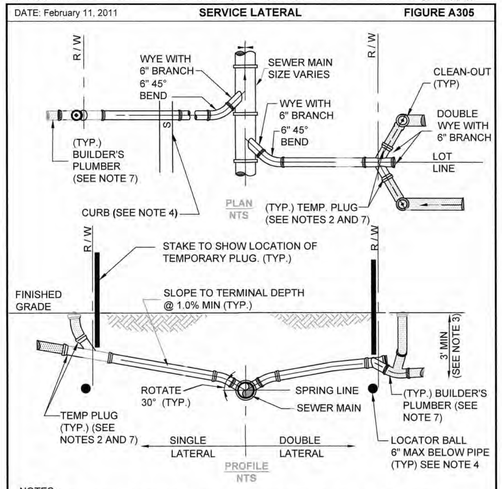


NOTES:
1. ONLY APPLIES TO UTILITIES OWNED AND MAINTAINED MANHOLES. "ORANGE COUNTY" SHALL NOT APPEAR ON PRIVATE MANHOLES.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 | **SERVICE LATERAL** | FIGURE A305

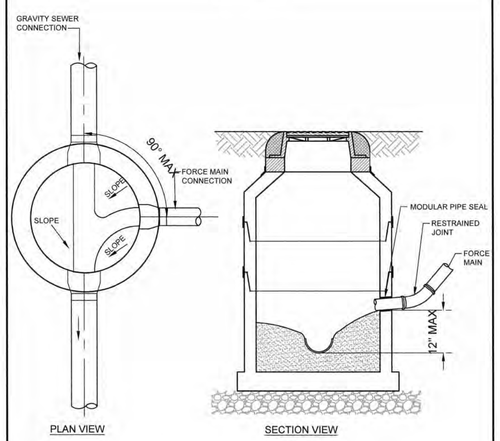


NOTES:
1. INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
2. SERVICE LATERAL SHALL BE CAPPED BY DEVELOPER'S SITE-WORK CONTRACTOR.
3. WYE TO BE NO SHALLOWER THAN 3-FEET AND NO DEEPER THAN 5-FEET.
4. LOCATOR BALLS TO BE INSTALLED BY DEVELOPER'S SITE-WORK CONTRACTOR, ONE PER SERVICE.
5. ALL FITTINGS SHOWN ARE TO BE INSTALLED.
6. SERVICE CONNECTIONS SHALL BE PERMANENTLY MARKED BY CUTTING AN "S" IN THE CURB DIRECTLY OVER THE LATERAL.
7. BUILDER'S PLUMBER WILL REMOVE PLUG, INSTALL CLEANOUT, AND CONNECT SERVICE LATERAL TO HOUSE.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

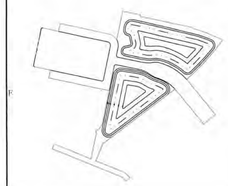
APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 | **FORCE MAIN TO GRAVITY SEWER CONNECTION** | FIGURE A306



NOTES:
1. FORCE MAIN ORIENTED TO FACILITATE FLOW AND SHALL ENTER MANHOLE WITHIN 1' ABOVE INVERT OF THE EFFLUENT PIPE.
2. BENCH AS REQUIRED FOR NEW FORCE MAIN.
3. MANHOLE RECEIVING FORCE MAIN AND NEXT MANHOLE SHALL BE LINED. FOR CONNECTIONS TO EXISTING MANHOLES, MANHOLE RECEIVING FORCE MAIN AND NEXT MANHOLE SHALL BE COATED OR LINED PER APPENDIX D.
4. CONTRACTOR TO COORDINATE THE PRESENCE OF UTILITIES INSPECTOR DURING CORING AND CONNECTIONS TO EXISTING MANHOLES.

Key Map:



Consultant:

NO.	DATE:	DESCRIPTIONS:
9	11/12/20	RESUBMIT TO ORANGE COUNTY
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	5/29/19	BID SET
3	5/28/19	RESUBMIT TO ORANGE COUNTY
2	4/17/19	RESUBMIT TO VWCD
1	2/21/19	RESUBMIT TO VWCD
	12/20/18	SUBMIT TO ORANGE COUNTY

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APPROVED BY:	CMB
SCALE IN FEET:	N.T.S.

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

STANDARD WASTEWATER DETAILS

Sheet No.:

C9.30

Seal:

CHRISTINA M. BAXTER LICENSE No. 67547 STATE OF FLORIDA PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
P.E. NO. 0067547
DATE: November 12, 2020

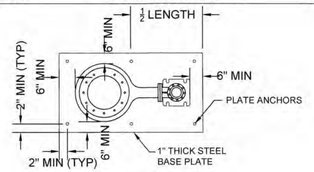
POULOS & BENNETT

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.487.2594 www.poulosandbennett.com
Eng. Bus. No. 28367

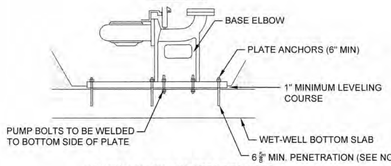
ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

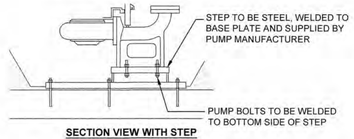
DATE: February 11, 2011 | **PUMP BASE PLATE** | FIGURE A402-4



PLAN VIEW



SECTION VIEW IF NO STEP REQUIRED



SECTION VIEW WITH STEP

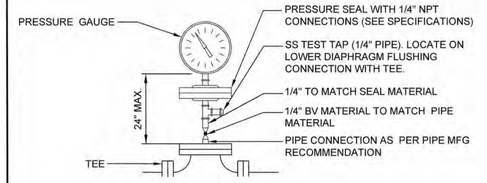
NOTES:

1. PLATE ANCHORS TO BE 6" MIN. 3/4" DIAMETER, WITH EPOXY ADHESIVE CAPSULE PROVIDING A MINIMUM EMBEDMENT DEPTH OF 6 5/8".
2. NO EXPANSION ANCHORS ALLOWED
3. PLATE SIZE: 6" LARGER THAN BASE ELBOW & PUMP VOLUTE TYP. ALL AROUND. BASE PLATE SHALL BE TRIMMED TO FIT, IF REQUIRED.
4. BASE ELBOW BOLTS, PLATE ANCHORS, AND STUDS TO BE STEEL (MIN ASTM A307 GRADE B AND A563).

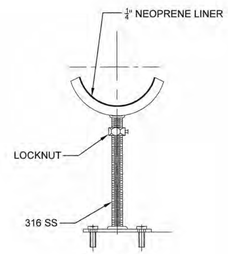
ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 | **DUPLEX PIPE SUPPORT AND GAUGE DIAPHRAGM ASSEMBLY** | FIGURE A402-6



GAUGE / DIAPHRAGM ASSEMBLY
NTS

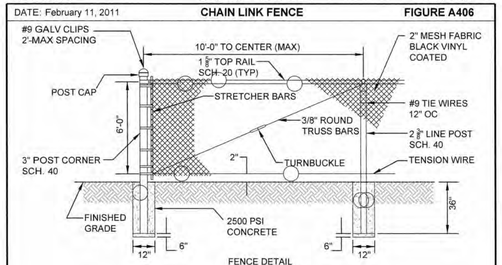


PIPE SUPPORT
NTS

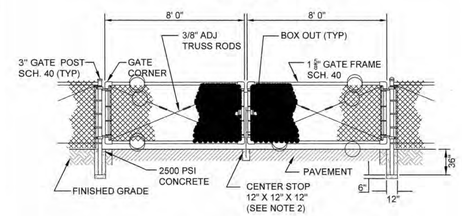
ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 | **CHAIN LINK FENCE** | FIGURE A406



FENCE DETAIL



DOUBLE SWING GATE DETAIL

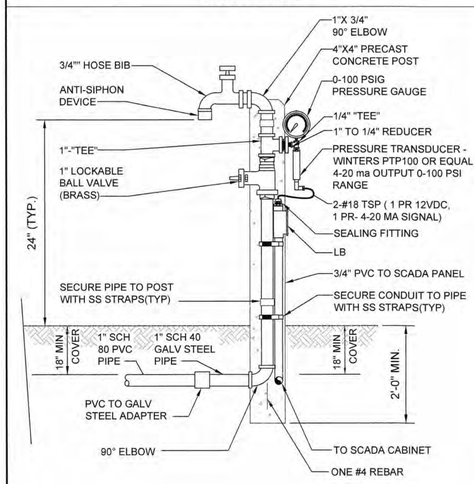
NOTES:

1. TRUSS BARS ARE REQUIRED FOR EACH GATE SECTION AND THE FIRST SPAN ON EACH SIDE OF A CORNER POST ONLY.
2. PROVIDE CHAIN AND LOCK FOR SECURING GATE.
3. FENCING AND POSTS SHALL BE BLACK, VINYL CLAD.

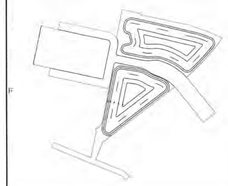
ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 | **SCADA PRESSURE SENSOR WATER SERVICE** | FIGURE A420



Key Map:



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Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

STANDARD LIFT STATION DETAILS

Sheet No.:

C9.40

Seal:

CHRISTINA M. BAXTER LICENSE No. 67547 STATE OF FLORIDA PROFESSIONAL ENGINEER

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Eng. Bus. No. 28567

STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A	STANDARD DRAWINGS	GENERAL
DATE: February 11, 2011	**ELECTRICAL LEGEND**	**FIGURE A412**

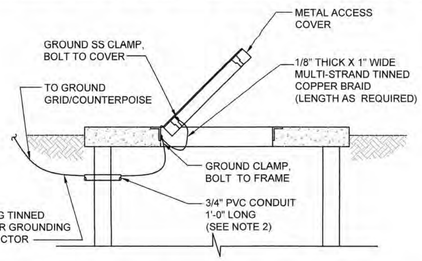
ORANGE COUNTY UTILITIES

LEGEND

AH	ALARM HORN	HOA	HAND-OFF-AUTO SELECTOR SWITCH
AL	ALARM LIGHT	MB	MOTOR BREAKER
ASB	ALARM SILENCE BUTTON	MCB	MAIN CIRCUIT BREAKER
ATS	ALTERNATOR TEST SWITCH	MS	MOTOR STARTER
CCB	CONTROL CIRCUIT BREAKER	OL	OVERLOAD
DPDT	DOUBLE POLE DOUBLE THROW	PL	PILOT LIGHT
DRB	DUPLEX RECEPTACLE BREAKER	PM	PHASE MONITOR
ECB	EMERGENCY CIRCUIT BREAKER	R	RELAY
ETM	ELAPSED TIME METER	RL	RUNNING LIGHT
F	FUSE	SCB	SCADA CIRCUIT BREAKER
FB	FUSE BLOCK	TB	TERMINAL BLOCK
FL	FLASHER	TTS	THERMAL TERMINAL STRIP
FR	FLOAT REGULATOR	XFMR	TRANSFORMER
GFDR	GROUND FAULT DUPLEX RECEPTACLE	SPD	SURGE PROTECTION DEVICE
GR	GENERATOR RECEPTACLE		

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

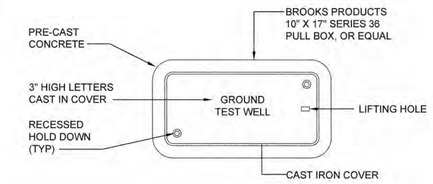
APPENDIX A	STANDARD DRAWINGS	GENERAL
DATE: February 11, 2011	**COVER AND DOOR GROUNDING**	**FIGURE A419-2**

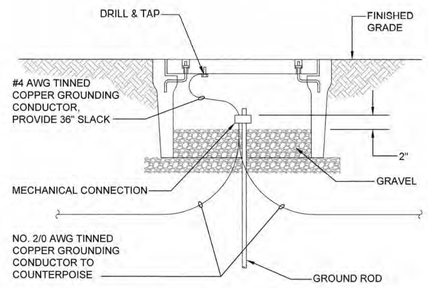


NOTES:
1. ON COVERS WITH MULTIPLE DOORS, PROVIDE BRAID FROM FRAME TO DOOR ON EACH DOOR PROVIDE WATERPROOF CAULKING WHERE GROUND CABLE AND CONDUIT PENETRATES WETWELL TO PREVENT INTRUSION OF GROUNDWATER AND ESCAPE OF VAPORS FROM WETWELL.
2. INSTALL GROUND WIRE SO THAT IT WILL NOT CROSS CLEAR OPENING OR PREVENT OR IMPEDE NORMAL METHOD OF REMOVING FLOATS OR PUMPS.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

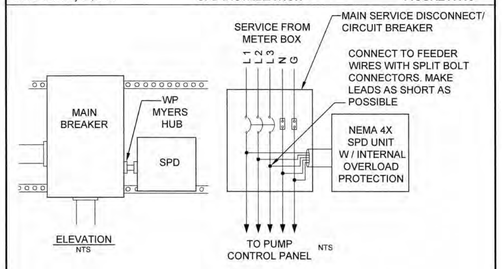
APPENDIX A	STANDARD DRAWINGS	GENERAL
DATE: February 11, 2011	**GROUND TEST WELL**	**FIGURE A419-3**



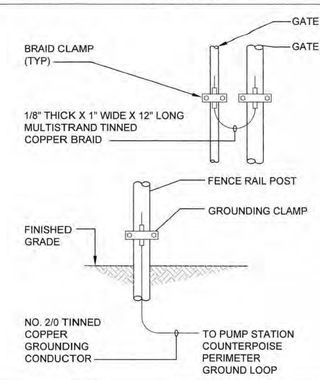


ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A	STANDARD DRAWINGS	GENERAL
DATE: February 11, 2011	**SPD INSTALLATION**	**FIGURE A418**

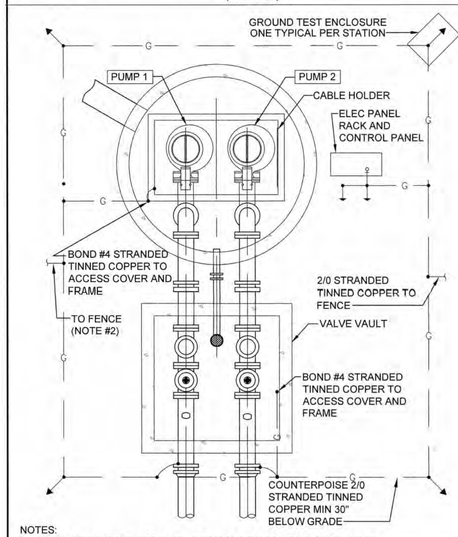


APPENDIX A	STANDARD DRAWINGS	GENERAL
DATE: February 11, 2011	**FENCE POST GROUNDING (TYPICAL)**	**FIGURE A419-4**



ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

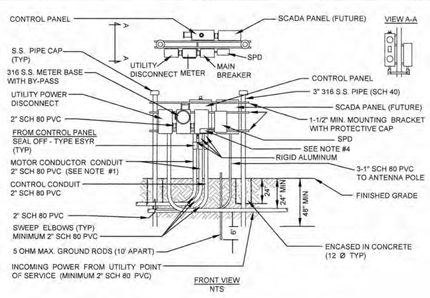
APPENDIX A	STANDARD DRAWINGS	GENERAL
DATE: February 11, 2011	**PUMP STATION GROUNDING (TYPICAL)**	**FIGURE A419-1**



NOTES:
1. DETAIL IS GENERIC. SPECIFIC LOCATIONS OF EQUIPMENT MAY VARY.
2. TIE TO FENCE, MINIMUM 2 LOCATIONS. NOT REQUIRED WHERE PVC COATED, BLOCK, OR WOOD FENCE IS INSTALLED.
3. PROVIDE EXOTHERMIC WELDS UNLESS NOTED OTHERWISE.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A	STANDARD DRAWINGS	GENERAL
DATE: February 11, 2011	**PUMP STATION CONTROL PANEL(480V) FRONT & PLAN VIEW**	**FIGURE A415-1**



PANEL INSTALLATION NOTES:
1. PUMP MOTOR CONDUIT SHALL BE SIZE TO ACCOMODATE 40% CONDUIT FILL. MINIMUM CONDUIT SIZE TO BE 2" SCH 80 PVC.
2. POWER SUPPLY SHALL BE UNDERGROUND ON THE LIFT STATION SITE AND SHALL BE 3-PHASE, FROM A 3-PHASE SOURCE ONLY.
3. AN ELETRICAL GROUNDING SYSTEM SHALL BE INSTALLED AS PER THE NATIONAL ELECTRICAL CODE, LOCAL CODES AND ORDINANCES. AN UNDERGOUND PERIMETER CABLE GROUNDING SYSTEM SHALL BE INSTALLED WITH CONNECTIIONS TO AT LEAST WET WELL COVER, VALVE VAULT COVER, CONTROL PANELS, GENERATOR, UTILITY COMPANY TRANSFORMER, MANUAL DISCONNECT SWITCH, AND METAL FENCE. SEE GROUNDING DETAILS.
4. THE STATION NAME, ORANGE COUNTY I.D. NUMBER, AND ADDRESS SHALL BE AFFIXED TO THE FRONT OF THE METER CABINET.
5. ALL MOUNTING HARDWARE & BRACKETS AND ELECTRICAL ENCLOSURES SHALL BE 316 STAINLESS STEEL.
6. THE SCADA PANEL IS SHOWN FOR INFORMATION ONLY AND WILL BE INSTALLED IN THE FUTURE (BY OTHERS).

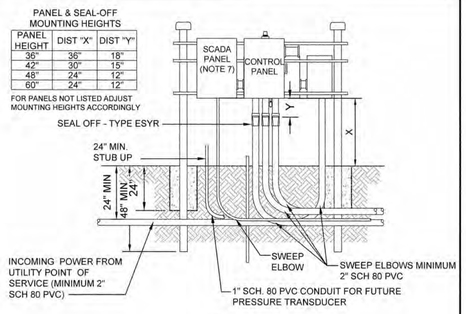
ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A	STANDARD DRAWINGS	GENERAL
DATE: February 11, 2011	**PUMP STATION CONTROL PANEL (480V) REAR VIEW**	**FIGURE A415-2**

PANEL & SEAL-OFF MOUNTING HEIGHTS

PANEL HEIGHT	DIST "X"	DIST "Y"
36"	36"	18"
42"	30"	15"
48"	24"	12"
60"	24"	12"

FOR PANELS NOT LISTED ADJUST MOUNTING HEIGHTS ACCORDINGLY



PANEL INSTALLATION NOTES:
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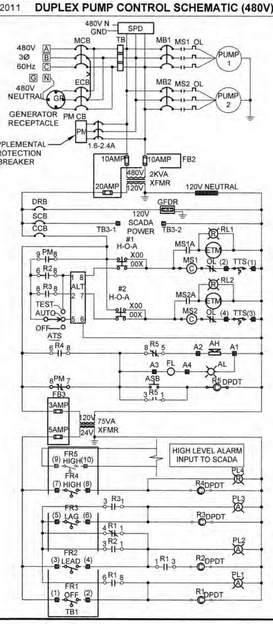
2. POWER SUPPLY SHALL BE UNDERGROUND ON THE LIFT STATION SITE AND SHALL BE 3-PHASE, FROM A 3-PHASE SOURCE ONLY.
3. AN ELECTRICAL GROUNDING SYSTEM SHALL BE INSTALLED AS PER THE NATIONAL ELECTRICAL CODE, LOCAL CODES AND ORDINANCES. AN UNDERGOUND PERIMETER CABLE GROUNDING SYSTEM SHALL BE INSTALLED WITH CONNECTIONS TO AT LEAST WET WELL COVER, VALVE VAULT COVER, CONTROL PANELS, GENERATOR, UTILITY COMPANY TRANSFORMER, MANUAL DISCONNECT SWITCH, AND METAL FENCE. REFER TO GROUNDING DETAILS.
4. THE STATION NAME, UTILITIES I.D. NUMBER, AND ADDRESS SHALL BE AFFIXED TO THE FRONT OF THE METER CABINET.
5. ALL MOUNTING HARDWARE & BRACKETS AND ELECTRICAL ENCLOSURES SHALL BE 316 STAINLESS STEEL.
6. THE SCADA PANEL SHOWN IS FOR INFORMATION ONLY AND WILL BE INSTALLED IN THE FUTURE (BY OTHERS).

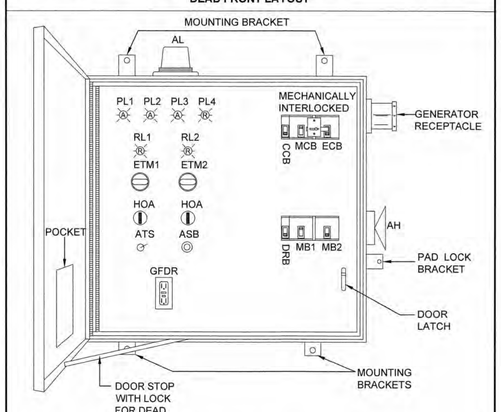
ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A	STANDARD DRAWINGS	GENERAL
DATE: February 11, 2011	**DUPLEX PUMP CONTROL SCHEMATIC (480V)**	**FIGURE A416**



ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A	STANDARD DRAWINGS	GENERAL
DATE: February 11, 2011	**DUPLEX CONTROL PANEL ENCLOSURE DEAD FRONT LAYOUT**	**FIGURE A417**

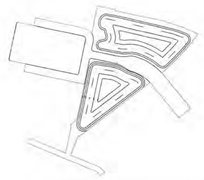


NOTES:
1. DEADFRONT LAYOUT NEMA TYPE 3R SS ENCLOSURE W/CONTINUOUS HINGE. ALL HARDWARE TYPE 316 SS TYPICAL, ACTUAL LAYOUT MAY VARY WITH HORSEPOWER.
2. THIS CONTROL PANEL, INCLUDING THE GENERATOR RECEPTACLE, COMPLIES WITH THE STANDARD LIST OF COMPONENTS REQUIRED BY UTILITIES.
3. ALL CONTROL WIRE TO BE #14 AWG MINIMUM.
4. CONTROL PANEL SHALL BE UL LISTED AND LABELED.
5. 30 SPARE TERMINALS (TB2).
6. PHASE MONITOR CIRCUIT BREAKER TO BE SEIMENS P/N: MSP10G, OR SQ-D P/N: MG24532.

ENGINEERING CERTIFICATION OF THESE STANDARDS DETAILS IS TO ESTABLISH MINIMUM STANDARDS AND SPECIFICATIONS OF THE PROJECT WORK. ADDITIONAL ENGINEERING PRINCIPLES AND DETAILS ARE TO BE SUBMITTED BY THE CONTRACTOR TO THE ELECTRICAL ENGINEER.

ORANGE COUNTY Division of Building Safety

Key Map:



Consultant:

CLE ENGINEERING
C.A. No. 27848
13651 CRYSTAL RIVER DRIVE
ORLANDO, FL 32828
phone: (407)277-3431
fax: (407)578-5081
www.clear-eng.com

NO.	DATE:	DESCRIPTONS:
9	01/12/20	RESUBMIT TO ORANGE COUNTY
8	11/14/19	RESUBMIT TO ORANGE COUNTY
7	6/09/20	RESUBMIT (REVISED LAYOUT)
6	9/26/19	REVISE FORCEMAIN CONNECTION
5	8/30/19	RESUBMIT TO ORANGE COUNTY
4	8/8/19	RESUBMIT TO ORANGE COUNTY
	5/29/19	BID SET
3	5/28/19	RESUBMIT TO ORANGE COUNTY
2	4/17/19	RESUBMIT TO VWCD
1	2/21/19	RESUBMIT TO VWCD
	12/20/18	SUBMIT TO ORANGE COUNTY

SUBMISSIONS/REVISIONS

VERTICAL DATUM:	NAVD 88
JOB NO.:	18-007
DESIGNED BY:	CB
DRAWN BY:	CB/CSL/JSK/TF
CHECKED BY:	CB/CMB
APPROVED BY:	CMB
SCALE IN FEET:	N.T.S.

Project Name:

GRANDE PINES ORANGEWOOD N-2 PD PARCEL 11D PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

STANDARD LIFT STATION DETAILS

Sheet No.:

C9.41

Darius D. Adams, P.E.
FL PE No. 53236
DATE: November 12, 2020

POULOS & BENNETT

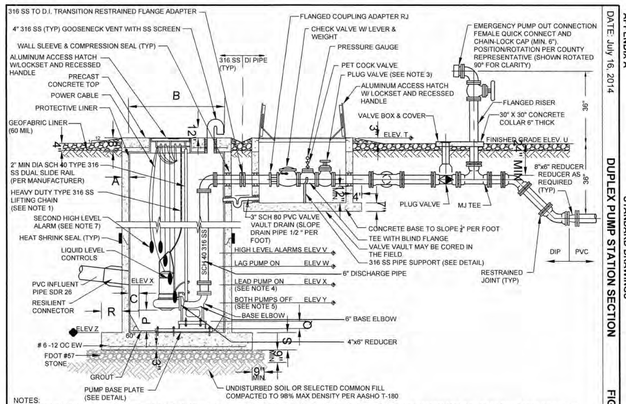
Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.487.2594 www.poulosandbennett.com
Eng. Bus. No. 28567

Z:\2018\18-007 PARK SQUARE - GRANDE PINES SFR\PHASE 1 - AMENITY\CAD\FINAL\COUNTY\18007-PH1-LDTLS

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: July 16, 2014 | DUPLEX PUMP STATION SECTION | FIGURE A402-2

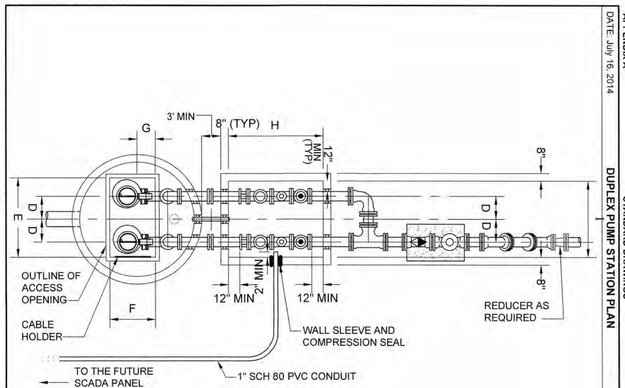


NOTES:
1. EACH PUMP SHALL BE FITTED WITH 6 FEET (6'-0") OF TYPE 316 SS, 3/4" CHAIN ATTACHED TO THE LIFTING MECHANISM AND AIRCRAFT RATED 1/4" SS CABLE PROVIDED BETWEEN THE CABLE HOLDER AND THE CHAIN.
2. WALL SLEEVE AND COMPRESSION SEALS SHALL BE COMPATIBLE WITH LINER.
3. IF PV<4 IN, LEVER OPERATED; IF PV>4 IN, WHEEL OPERATED.
4. ELEVATION X - ELEVATION Z ≥ 5 FEET.
5. PUMP OFF ELEVATION TO BE PER MANUFACTURER'S MINIMUM SUBMERGENCE.
6. SEE FIGURE A402-1 FOR DESCRIPTIONS OF DIMENSION SYMBOLS.
7. INSTALLED TO PROVIDE DRY CONTACT FOR SCADA.
8. ALL FLANGES: PIPE, VALVES AND APPURTENANCES SHALL HAVE 316 S.S. HARDWARE.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: July 16, 2014 | DUPLEX PUMP STATION PLAN | FIGURE A402-3

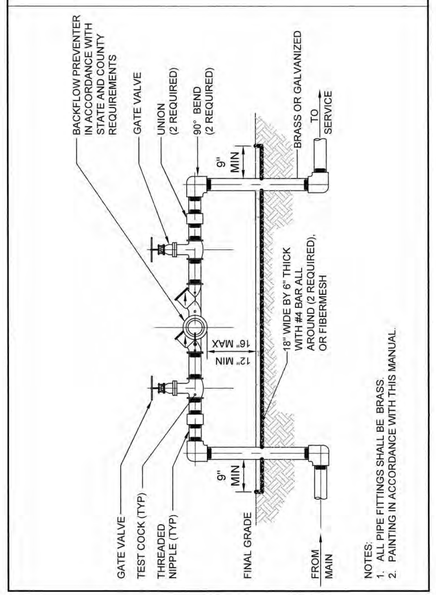


NOTES:
1. SEE FIGURE A402-1 FOR DESCRIPTIONS OF DIMENSION SYMBOLS.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 | REDUCED PRESSURE BACKFLOW PREVENTER, 2 INCH AND SMALLER | FIGURE A409



NOTES:
1. ALL PIPE FITTINGS SHALL BE BRASS.
2. PAINTING IN ACCORDANCE WITH THIS MANUAL.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 | DUPLEX PUMP STATION DESIGN SPECIFICATIONS | FIGURE A402-1

MANUFACTURER: ABS
MODEL: XFP 100E-CBI
IMP: 335 mm Impeller
DIA: 335 MM.
SPEED: 1750 RPM
DISCHARGE SIZE: 4 IN

VOLTAGE: 460V / 60 HZ
PHASE: 3
H.P.: 14 HP
MAX. SOLID SIZE (3 IN MIN): 3.15 IN
CURVE NUMBER: XFP 100E CBI PE 105/4

SHUT OFF HEAD: 75.30 FFET TDH
HIGH HEAD CONDITION: 444.00 GPM AT 63.8 FEET TDH
MINIMUM HEAD CONDITION: 576.00 GPM AT 55.9 FEET TDH

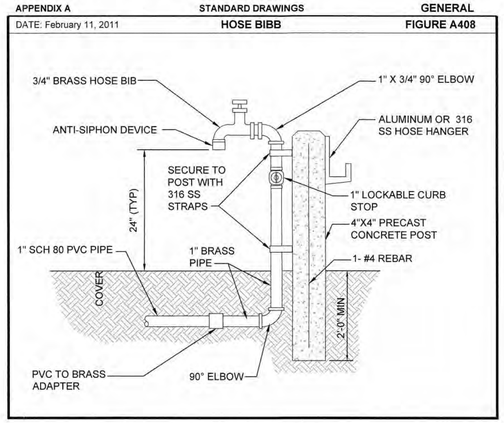
DESCRIPTION	SYMBOL	DIMENSION	ELEVATION
THICKNESS OF WALL	A	8"	—
DIAMETER OF WET WELL	B	8'	—
WIDTH OF BOTTOM FILLET	C	12"	—
C/L OF WET WELL TO C/L OF PIPES	D	16"	—
LENGTH OF PUMP ACCESS OPENING	E	60"	—
WIDTH OF PUMP ACCESS OPENING	F	48"	—
CENTER OF WET WELL TO EDGE OF HATCH	G	24"	—
VALVE BOX HATCH OPENING	H	72"	—
VALVE BOX HATCH OPENING	I	72"	—
LIP WIDTH OF WETWELL BASE	R		—
THICKNESS OF WETWELL BASE	S	1.5'	—
TOP OF WET WELL	T	—	87.80
FINISHED GRADE	U	—	87.17
HIGH LEVEL ALARMS	V	—	75.22
LAG PUMP ON	W	—	74.72
LEAD PUMP ON / INFLUENT PIPE INVERT	X	—	74.22
PUMPS OFF	Y	—	71.27
BOTTOM OF PUMP TO FLOOR OF WET WELL	P	4.6"	
STEP HEIGHT (IF REQUIRED)	Q	0"	—
FLOOR OF WET WELL	Z	—	69.22

NOTES:
1. PER PUMP MANUFACTURER'S REQUIREMENTS
2. DIMENSION P AND ELEVATIONS Y AND Z MUST MEET BOTH FLYGT AND ABS REQUIREMENTS.
3. ELEVATION X - ELEVATION Z ≥ 5 FEET
4. TOP ELEVATION OF WET WELL SHALL BE A MINIMUM OF 1' ABOVE THE 100 YEAR FLOOD ELEVATION AND THE ELEVATION OF THE CROWN OF THE ROAD.
5. SYMBOLS SHOWN IN TABLE ARE USED IN FIGURES A402-2 AND A402-3.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 | HOSE BIBB | FIGURE A408



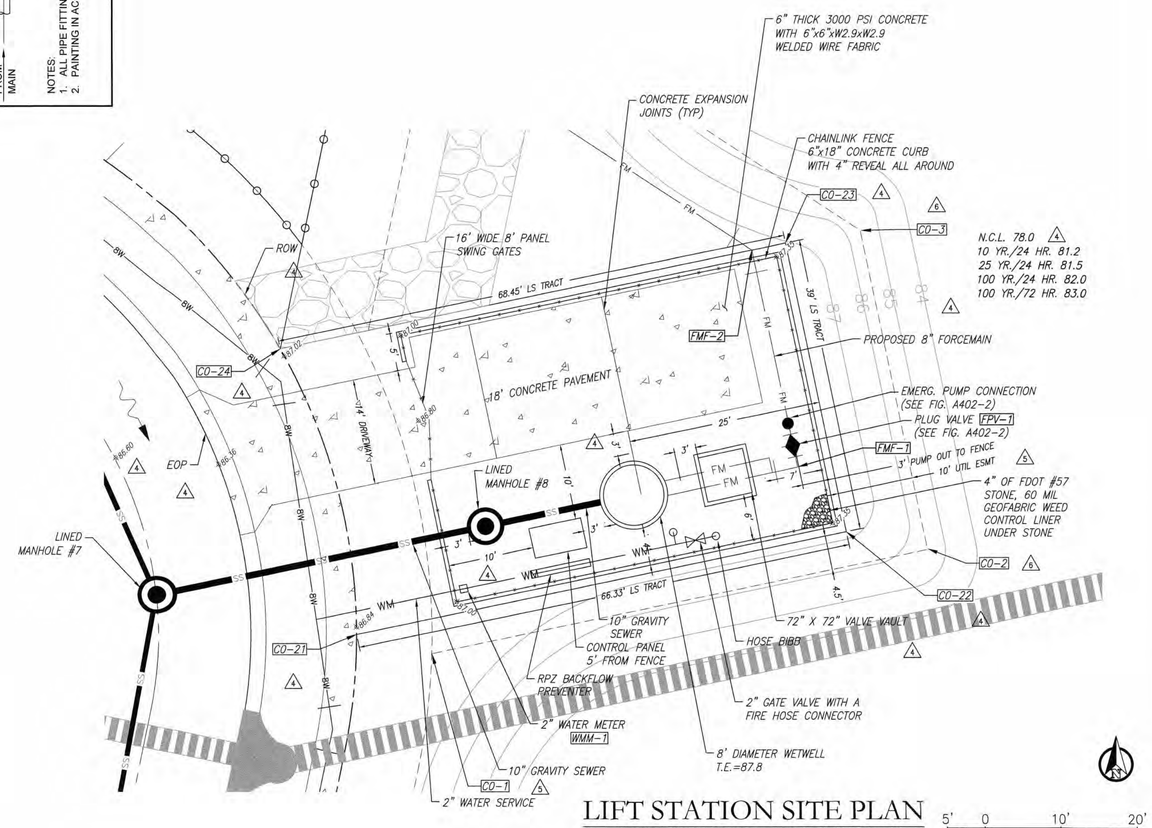
ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011 | PUMP STATION GENERAL NOTES | FIGURE A401

GENERAL NOTES:

1. GRAVITY PIPES ENTERING WET WELL SHALL BE MADE WATERTIGHT WITH AN APPROVED RESILIENT CONNECTOR LISTED IN APPENDIX D.
2. ALL LOCATIONS WHERE PRESSURE PIPES PENETRATE THE WET WELL SHALL BE MADE WATERTIGHT WITH A WALL SLEEVE AND COMPRESSION SEAL.
3. THERE SHALL BE NO VALVES OR ELECTRICAL JUNCTION BOXES IN THE WET WELL.
4. WET WELL COVERS SHALL BE ALUMINUM WITH 316 STAINLESS STEEL HARDWARE WITH RECESSED LOCK BRACKET. WET WELL COVER SHALL HAVE "CONFINED SPACE" ETCHED OR WELDED INTO COVER.
5. ALL HARDWARE IN WET WELL SHALL BE 316 STAINLESS STEEL.
6. PUMP MANUFACTURER SUBMERGENCE REQUIREMENTS SHALL BE MET AS MINIMUM.
7. PIPE JOINTS IN THE WET WELL AND THE VALVE VAULT SHALL BE FLANGED. PIPE JOINTS FROM THE VALVE VAULT TO THE EXISTING FORCE MAIN SHALL BE RESTRAINED MECHANICAL JOINTS.
8. CHECK VALVE ARMS SHALL BE LOCATED WITH THE SAME ORIENTATION (i.e. ALL ARMS ON THE LEFT SIDE OF VALVE).
9. REFER TO APPENDIX D FOR ADMIX, COATINGS AND LININGS.



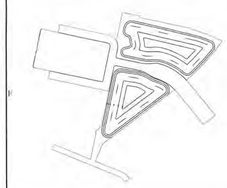
LIFT STATION SITE PLAN

SEE OCU DETAIL A402-5 FOR ADDITIONAL DETAILS

5' 0 10' 20'
SCALE IN FEET

NOTES:
1. FOR NON-RESIDENTIAL ROADS, DISTANCE BETWEEN EDGE OF PAVEMENT AND GATE SHALL BE 20' MINIMUM.
2. PUMP STATION TRACT (INCLUDING DRIVEWAY) AND UTILITY EASEMENT SHALL BE DEDICATED TO ORANGE COUNTY UTILITIES.
3. THIS DIMENSION, AS MEASURED FROM THE CENTER OF THE WET WELL TO THE PUBLIC UTILITY EASEMENT LIMIT, SHALL BE EQUAL TO OR GREATER THAN THE DEPTH OF THE WET WELL.
4. CONTROL PANEL DOOR HINGES TO BE LOCATED ON THE SIDE OF THE PANEL FARTHEST FROM THE WELL.
5. DRIVEWAY SUBGRADE TO BE 8" INCH THICK. SUBGRADE TO BE COMPACTED TO A MINIMUM DENSITY 98% OF THE MAX DENSITY AS DETERMINED BY ASTM DI557.
6. THE BOUNDARY OF ALL NEW PUMP STATION TRACK SHOULD BE LOCATED MINIMUM OF 50 FEET AWAY FROM ANY SINGLE FAMILY RESIDENTIAL LOT INCLUDING TOWNHOMES.

Key Map:



Consultant:

NO.	DATE:	DESCRIPTIONS:
9	11/12/20	RESUBMIT TO ORANGE COUNTY
8	10/13/20	RESUBMIT TO ORANGE COUNTY
7	6/09/20	RESUBMIT (REVISED LAYOUT)
6	9/26/19	REVISE FORCEMAIN CONNECTION
5	8/30/19	RESUBMIT TO ORANGE COUNTY
4	8/8/19	RESUBMIT TO ORANGE COUNTY
	5/29/19	BID SET
3	5/28/19	RESUBMIT TO ORANGE COUNTY
2	4/17/19	RESUBMIT TO VWCD
1	2/21/19	RESUBMIT TO VWCD
	12/20/18	SUBMIT TO ORANGE COUNTY

SUBMISSIONS/REVISIONS

VERTICAL DATUM:	NAVD 88
JOB NO.:	18-007
DESIGNED BY:	CB
DRAWN BY:	CB/CSL/JSK/TF
CHECKED BY:	CB/CMB
APPROVED BY:	CMB
SCALE IN FEET:	N.T.S.

Project Name:

GRANDE PINES
ORANGEWOOD
N-2 PD
PARCEL 11D
PHASE 1

Jurisdiction:

ORANGE COUNTY, FL

Sheet Title:

STANDARD LIFT STATION DETAILS

Sheet No.:

C9.42

Seal:

CHRISTINA M. BAXTER
LICENSE
No. 67547
STATE OF FLORIDA
PROFESSIONAL ENGINEER

CHRISTINA M. BAXTER
P.E. NO. 067547
DATE November 12, 2020

POULOS & BENNETT

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.487.2594 www.poulosandbennett.com
Eng. Bus. No. 28567

Z:\2018\18-007 PARK SQUARE - GRANDE PINES SFR\PHASE 1 - AMENITY\CAD\FINAL\COUNTY\18007-PH1-UTLS

EXHIBIT B

FORM OF REQUISITION 2021 ACQUISITION AND CONSTRUCTION ACCOUNT

Grande Pines Community Development District
Orange County, Florida

U.S. Bank National Association, as Trustee
Orlando, Florida

GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT
SPECIAL ASSESSMENT REVENUE BONDS, SERIES 2021
(ASSESSMENT AREA ONE)

The undersigned, a Responsible Officer of the Grande Pines Community Development District (the "District") hereby submits the following requisition for disbursement under and pursuant to the terms of the Master Trust Indenture between the District and U.S. Bank National Association, as trustee (the "Trustee"), dated as of March 1, 2021, as supplemented by that certain First Supplemental Trust Indenture dated as of March 1, 2021 (collectively, the "Indenture") (all capitalized terms used herein shall have the meaning ascribed to such term in the Indenture);

(A) Requisition Number; 9

(B) Name of Payee; Poulos & Bennett

(C) Amount Payable; $4,296.25

(D) Purpose for which paid or incurred (refer also to specific contract if amount is due and payable pursuant to a contract involving progress payments): Invoice # 19-151(25) - Bond Issuance for June 2022

(E) Account from which disbursement to be made: 2021 Acquisition and Construction Account

The undersigned hereby certifies that:

1. obligations in the stated amount set forth above have been incurred by the District;

2. each disbursement set forth above is a proper charge against the Account referenced in "E" above;

3. each disbursement set forth above was incurred in connection with the Cost of the Assessment Area One Capital Improvement Program;

4. each disbursement represents a Cost of the Assessment Area One Capital Improvement Program which has not previously been paid; and

5. the costs set forth in the requisition are reasonable.

The undersigned hereby further certifies that there has not been filed with or served upon the District notice of any lien, right to lien, or attachment upon, or claim affecting the right to receive payment of, any of the moneys payable to the Payee set forth above, which has not been released or will not be released simultaneously with the payment hereof.

The undersigned hereby further certifies that such requisition contains no item representing payment on account of any retained percentage which the District is at the date of such certificate entitled to retain.

Copies of the invoice(s) from the vendor of the property acquired or the services rendered with respect to which disbursement is hereby requested or other similar evidence of proof of payment is on file with the District.

GRANDE PINES COMMUNITY
DEVELOPMENT DISTRICT

By: Amanda Whitney
Responsible Officer

Date: 8/29/22

The undersigned District Engineer hereby certifies that; (i) this disbursement is for the Cost of the Assessment Area One Capital Improvement Program and is consistent with the report of the District Engineer, as such report has been amended or modified; (ii) that the portion of the Assessment Area One Capital Improvement Program improvements being acquired from the proceeds of the 2021 Bonds have been completed in accordance with the plans and specifications therefor; (iii) the Assessment Area One Capital Improvement Program improvements subject to this disbursement are constructed in a sound workmanlike manner and in accordance with industry standards; (iv) the purchase price being paid by the District for the Assessment Area One Capital Improvement Program improvements being acquired pursuant to this disbursement is no more than the lesser of the fair market value of such improvements and the actual Cost of construction of such improvements; and (v) the plans and specifications for the Assessment Area One Capital Improvement Program improvements subject to this disbursement have been approved by all Regulatory Bodies required to approve them.

District Engineer 8/26/22

CHRISTIAN M. BAXTER
LICENSE
NO. 67547
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

52755415;13

POULOS & BENNETT

Poulos & Bennett, LLC
2602 E. Livingston St.
Orlando, FL 32803
407-487-2594

Grande Pines CDD
6200 Lee Vista Boulevard, Suite 300
Orlando, FL 32822

Invoice number 19-151(25)
Date 07/25/2022

Project **19-151 GRANDE PINES CDD**

Professional services for the period ending: June 30, 2022

Invoice Summary

Description	Contract Amount	Percent Complete	Prior Billed	Total Billed	Remaining Percent	Current Percent	Current Billed
.01 ENGINEER'S REPORT	15,000.00	99.92	14,987.50	14,987.50	0.08	0.00	0.00
.02 MISCELLANEOUS SERVICES	0.00	0.00	2,760.00	2,816.25	0.00		56.25
.03 2020 BOND ISSUANCE	0.00	0.00	8,351.25	12,647.50	0.00		4,296.25
.99 REIMBURSABLE EXPENSES	0.00	0.00	0.80	0.80	0.00		0.00
Total	15,000.00		26,099.55	30,452.05			4,352.50

Hourly Tasks:

.02 Miscellaneous Services

	Hours	Rate	Billed Amount
Practice Team Leader	0.25	225.00	56.25

RECEIVED
JUL 29 2022

.03 2020 Bond Issuance

	Hours	Rate	Billed Amount
Practice Team Leader	2.25	225.00	506.25
Project Engineer	5.50	135.00	742.50
Staff Engineer	26.50	115.00	3,047.50
Phase subtotal			4,296.25

.02 Miscellaneous Services - June Board Meeting 4296.25

.03 2020 Bond Issuance - Preparation of requisition for phase 1 construction cost

Invoice total ~~4,352.50~~

Aging Summary

Invoice Number	Invoice Date	Outstanding	Current	Over 30	Over 60	Over 90	Over 120
19-151(24)	05/24/2022	112.50			112.50		
19-151(25)	07/25/2022	4,352.50	4,352.50				
	Total	4,465.00	4,352.50	0.00	112.50	0.00	0.00

SECTION 3

Grande Pines
Community Development District

Funding Request #34
August 19, 2022

	Payee		General Fund FY2022
1	**Achal Aggarwal**		
	Inv# 08152022-Supervisor Fee	$	215.30
2	**Amanda Whitney**		
	Inv# 08152022-Supervisor Fee	$	215.30
3	**GMS-CF, LLC.**		
	Inv# 38 - Management Fees - Aug 22	$	3,336.32
4	**Linda Kepfer**		
	Inv# 08152022-Supervisor Fee	$	215.30
5	**Orlando Sentinel**		
	Inv # 058046842000 - July 2022	$	559.86
6	**Poulos & Bennett**		
	Inv # 19-151(25) Engineer Services - June 2022	$	56.25
7	**US Bank**		
	Inv # 6504129 Special Assessment Fees 4/1-3/31/23	$	4,040.63
		$	8,638.96
	Total:	**$**	**8,638.96**

Please make check payable to:

Grande Pines Community Development District
6200 Lee Vista BLVD Suite 300
Orlando FL, 32822

GMS-Central Florida, LLC
1001 Bradford Way
Kingston, TN 37763

Invoice

Invoice #: 38
Invoice Date: 8/1/22
Due Date: 8/1/22
Case:
P.O. Number:

Bill To:

Grande Pines CDD
219 E. Livingston St.
Orlando, FL 32801

Description	Hours/Qty	Rate	Amount
Management Fees - August 2022		2,916.67	2,916.67
Website Administration - August 2022		41.67	41.67
Information Technology - August 2022		83.33	83.33
Dissemination Agent Services - August 2022		291.67	291.67
Postage		0.13	0.13
Copies		2.85	2.85

Total	$3,336.32
Payments/Credits	$0.00
Balance Due	$3,336.32

Orlando Sentinel
MEDIA GROUP

PO Box 8023
Willoughby, OH 44096

adbilling@tribpub.com
844-348-2445

Invoice Details

Billed Account Name:	Grande Pines Cdd
Billed Account Number:	CU80068057
Invoice Number:	058046842000
Invoice Amount:	$559.86
Billing Period:	07/01/22 - 07/31/22
Due Date:	08/30/22

INVOICE

Invoice Details

Date	tronc Reference #	Description	Ad Size/ Units	Rate	Gross Amount	Total
06/27/22 07/04/22	OSC58046842	Classified Listings, Online Public Hearling/Bid/Misc_Legal 7237806				559.86

Invoice Total: $559.86

Account Summary

Current	1-30	31-60	61-90	91+	Unapplied Amount
559.86	0.00	0.00	0.00	0.00	0.00

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AUG 19 2022

Please detach and return this portion with your payment.

Orlando Sentinel
MEDIA GROUP

PO Box 8023
Willoughby, OH 44096

Remittance Section

Billed Period:	07/01/22 - 07/31/22
Billed Account Name:	Grande Pines Cdd
Billed Account Number:	CU80068057
Invoice Number:	058046842000

Return Service Requested

0882000190 PRESORT 190 1 SP 0.570 P3C1 <B>

GRANDE PINES CDD
219 E. LIVINGSTON STREET
ORLANDO FL 32801-1508

For questions regarding this billing, or change of address notification, please contact Customer Care:

Orlando Sentinel
PO Box 8023
Willoughby, OH 44096

Orlando Sentinel
MEDIA GROUP

Published Daily
ORANGE County, Florida

Sold To:
Grande Pines CDD - CU80068057
219 E. Livingston Street
Orlando, FL 32801

Bill To:
Grande Pines CDD - CU80068057
219 E. Livingston Street
Orlando, FL 32801

State Of Florida
County Of Orange

Before the undersigned authority personally appeared
Rose Williams, who on oath says that he or she is a duly authorized representative of the ORLANDO SENTINEL, a DAILY newspaper published in ORANGE County, Florida; that the attached copy of advertisement, being a Legal Notice in:

The matter of 11200-Misc. Legal
Was published in said newspaper by print in the issues of, or by publication on the newspaper's website, if authorized on Jun 27, 2022; Jul 04, 2022.

Affiant further says that the newspaper complies with all legal requirements for publication in Chapter 50, Florida Statutes.

Rose Williams

Signature of Affiant

Rose Williams

Name of Affiant

Sworn to and subscribed before me on this 5 day of July, 2022,
by above Affiant, who is personally known to me (X) or who has produced identification ( ).

LeAnne Rollins

Signature of Notary Public

LEANNE ROLLINS
Notary Public - State of Florida
Commission # GG 982233
My Comm. Expires Apr 27, 2024
Bonded through National Notary Assn.

Name of Notary, Typed, Printed, or Stamped

7237806

Orlando Sentinel
MEDIA GROUP

NOTICE OF PUBLIC HEARING TO CONSIDER THE ADOPTION OF THE FISCAL YEAR 2022/2023 BUDGET; AND NOTICE OF REGULAR BOARD OF SUPERVISORS' MEETING.

The Board of Supervisors ("Board") of the Grande Pines Community Development District ("District") will hold a public hearing on July 18, 2022 at 10:00 a.m. at 219 East Livingston Street, Orlando, FL 32801 for the purpose of hearing comments and objections on the adoption of the proposed budget ("Proposed Budget") of the District for the fiscal year beginning October 1, 2022 and ending September 30, 2023 ("Fiscal Year 2022/2023"). A regular board meeting of the District will also be held at that time where the Board may consider any other business that may properly come before it. A copy of the agenda and Proposed Budget may be obtained at the offices of the District Manager, Governmental Management Services – Central Florida, LLC, 219 East Livingston Street, Orlando, Florida 32801, (407) 841-5524 ("District Manager's Office"), during normal business hours, or by visiting the District's website at http://grandepinescdd.com/.

The public hearing and meeting are open to the public and will be conducted in
accordance with the provisions of Florida law. The public hearing and meeting may be continued to a date, time, and place to be specified on the record at the meeting. There may be occasions when Board Supervisors or District Staff may participate by speaker telephone.

Any person requiring special accommodations at this meeting because of a disability or physical impairment should contact the District Manager's Office at least forty-eight (48) hours prior to the meeting. If you are hearing or speech impaired, please contact the Florida Relay Service by dialing 7-1-1, or 1-800-955-8771 (TTY) / 1-800-955-8770 (Voice), for aid in contacting the District Manager's Office.

Each person who decides to appeal any decision made by the Board with respect to any matter considered at the public hearing or meeting is advised that person will need a record of proceedings and that accordingly, the person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which such appeal is to be based.

George S. Flint
Governmental Management Services – Central Florida, LLC
District Manager
6/27/2022 7/04/2022 7237806

7237806

POULOS & BENNETT

Poulos & Bennett, LLC
2602 E. Livingston St.
Orlando, FL 32803
407-487-2594

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Invoice number 19-151(25)
Date 07/25/2022

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.99 REIMBURSABLE EXPENSES	0.00	0.00	0.80	0.80	0.00		0.00
Total	15,000.00		26,099.55	30,452.05			4,352.50

Hourly Tasks:

.02 Miscellaneous Services

	Hours	Rate	Billed Amount
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RECEIVED
JUL 29 2022

.03 2020 Bond Issuance

	Hours	Rate	Billed Amount
Practice Team Leader	2.25	225.00	506.25
Project Engineer	5.50	135.00	742.50
Staff Engineer	26.50	115.00	3,047.50
Phase subtotal			4,296.25

.02 Miscellaneous Services - June Board Meeting

.03 2020 Bond Issuance - Preparation of requisition for phase 1 construction cost

Invoice total **4,352.50**

Aging Summary

Invoice Number	Invoice Date	Outstanding	Current	Over 30	Over 60	Over 90	Over 120
19-151(24)	05/24/2022	112.50			112.50		
19-151(25)	07/25/2022	4,352.50	4,352.50				
	Total	4,465.00	4,352.50	0.00	112.50	0.00	0.00

Corporate Trust Services
EP-MN-WN3L
60 Livingston Ave.
St. Paul, MN 55107

Invoice Number:	6504129
Account Number:	264128000
Invoice Date:	04/25/2022
Direct Inquiries To:	STACEY JOHNSON
Phone:	407-835-3805

GRANDE PINES COMMUNITY DEVEL DIST
ATTN GEORGE FLINT
6200 LEE VISTA BLVD SUITE 300
ORLANDO FL 32822

GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT SPECIAL ASSESSMENT REVENUE BONDS SERIES 2021 (ASSESSMENT AREA ONE) REVENUE ACCOUNT

The following is a statement of transactions pertaining to your account. For further information, please review the attached.

STATEMENT SUMMARY

PLEASE REMIT BOTTOM COUPON PORTION OF THIS PAGE WITH CHECK PAYMENT OF INVOICE.

TOTAL AMOUNT DUE	$4,040.63

All invoices are due upon receipt.

RECEIVED
AUG 15 2022

Please detach at perforation and return bottom portion of the statement with your check, payable to U.S. Bank.

GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT SPECIAL ASSESSMENT REVENUE BONDS SERIES 2021 (ASSESSMENT AREA ONE) REVENUE ACCOUNT

Invoice Number:	6504129
Account Number:	264128000
Current Due:	$4,040.63
Direct Inquiries To:	STACEY JOHNSON
Phone:	407-835-3805

Wire Instructions:
U.S. Bank
ABA # 091000022
Acct # 1-801-5013-5135
Trust Acct # 264128000
Invoice # 6504129
Attn: Fee Dept St. Paul

Please mail payments to:
U.S. Bank
CM-9690
PO BOX 70870
St. Paul, MN 55170-9690

Corporate Trust Services
EP-MN-WN3L
60 Livingston Ave.
St. Paul, MN 55107

Invoice Number:	6504129
Invoice Date:	04/25/2022
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GRANDE PINES COMMUNITY DEVELOPMENT DISTRICT SPECIAL ASSESSMENT REVENUE BONDS SERIES 2021 (ASSESSMENT AREA ONE) REVENUE ACCOUNT

Accounts Included In This Relationship: 264128000 264128001 264128002 264128003 264128004 264128005

CURRENT CHARGES SUMMARIZED FOR ENTIRE RELATIONSHIP

Detail of Current Charges	Volume	Rate	Portion of Year	Total Fees
04200 Trustee	1.00	3,750.00	100.00%	$3,750.00
Subtotal Administration Fees - In Advance 04/01/2022 - 03/31/2023				**$3,750.00**
Incidental Expenses 04/01/2022 to 03/31/2023	3,750.00	0.0775		$290.63
Subtotal Incidental Expenses				**$290.63**
TOTAL AMOUNT DUE				**$4,040.63**

The fees shown on this invoice are reflective of the most recent fee schedule or notice of fee adjustment provided by U.S. Bank.